

Mono Constructions, Residential Apartment Building (x28)
24-28 Viccliffe Avenue, Campsie, NSW
Revised DA Issue - 11th Dec, 2019

Architectural Drawing Schedule

2370.18	DA01	Cover Sheet
2370.18	DA02	Perspective Images
2370.18	DA03	Site Analysis
2370.18	DA04	Site & External Works Plan
2370.18	DA04B	Proposed Roof Plan over Survey Plan
2370.18	DA05	Basement Car Park Plan
2370.18	DA06	Floor Plan - Level 1
2370.18	DA07	Floor Plan - Level 2-3 (Typical)
2370.18	DA08	Floor Plan - Level 4
2370.18	DA09	Roof Plan
2370.18	DA10	Elevations (Sht 1 of 2)
2370.18	DA11	Elevations (Sht 2 of 2)
2370.18	DA11B	Building Wall Height Diagram (Sht 1 of 2)
2370.18	DA11C	Building Wall Height Diagram (Sht 2 of 2)
2370.18	DA12	Sections (Sht 1 of 2)
2370.18	DA13	Sections (Sht 2 of 2)
2370.18	DA13B	Sections (over POS)
2370.18	DA14	GFA Diagrams
2370.18	DA15	Development Calculations
2370.18	DA16	Cross Ventilation Diagrams
2370.18	DA17	Shadow Diagrams (Sht 1 of 3)
2370.18	DA18	Shadow Diagrams (Sht 2 of 3)
2370.18	DA19	Shadow Diagrams (Sht3 of 3)
2370.18	DA20	Shadow Analysis (view from sun 1/3)
2370.18	DA21	Shadow Analysis (view from sun 2/3)
2370.18	DA22	Shadow Analysis (view from sun 3/3)
2370.18	DA23	Shadow Impacts (No. 30 Viccliffe Street)
2370.18	DA24	DCP Height Plane
2370.18	DA25	External Colour Selections

Civil Drawing Schedule

181016	C01	Notes & Legends
181016	C02	Ground Floor Drainage Plan
181016	C03	Basement 1 Drainage Plan
181016	C04	Site Stormwater Details Sheet
181016	ESM1	Notes & Legends
181016	ESM2	Environmental Site Management layout

Landscape Drawing Schedule

2370.18	L01	Landscape Plan
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Survey Drawing Schedule

1 of 2	Detail & Level Survey
2 of 2	Detail & Level Survey



NATHERS Thermal Performance Specification			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	Wall + Foilboard = R1.8	Dark - SA > 0.7	Throughout
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Plaster board on Stud	None	Internally in units	
Cavity Brick	None	Party walls	
Cavity Brick	Wall + Foilboard = R1.8	Shared walls with lobby/stairs/lift	
Floors			
Floor Type	Insulation	Comments	
Concrete	R1.4	All units with suspended slab over carpark	
Concrete	R1.0	Suspended floor over air	
Concrete	None	All units with adjoining unit below	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Floor above	
Plasterboard	R3.0	Roof Above	
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom and laundry.			
Roof			
Roof Type	Insulation	Colour	Comments
Concrete	None	Light - SA < 0.475	Throughout
SA - Solar Absorptance			
Glazing			
Glazing & Frame Type	U-Value	SHGC	Comments
Single Clear Aluminium	6.7	0.57	Awning windows for units 103, 104, 105, 204, 205 and 303
Single Clear Aluminium	6.7	0.7	Fixed and sliding windows for units 103, 104, 105, 204, 205 and 303
Double Clear Low-E Aluminium	4.3	0.47	Awning windows for units 101, 107, 203, 207, 304 and 305
Double Clear Low-E Aluminium	4.3	0.53	Fixed and sliding windows for units 101, 107, 203, 207, 304 and 305
Double Clear Low-E Thermally Broken Aluminium	3.1	0.39	Awning windows for units 102, 106, 201, 206, 301, 302, 306, 307, 401, 402 and 406
Double Clear Low-E Thermally Broken Aluminium	3.1	0.49	Fixed and sliding windows for units 102, 106, 201, 206, 301, 302, 306, 307, 401, 402 and 406
Double Tinted Low-E Thermally Broken Aluminium	3.1	0.27	Awning windows for units 202, 403, 404, 405 and 407
Double Tinted Low-E Thermally Broken Aluminium	3.1	0.27	Fixed and sliding windows for units 202, 403, 404, 405 and 407
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ≤ 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
Clear Double Glazed	Aluminium	na	



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Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck
Checked;jok
Plot date;12/12/19

Scale; 1:1 as noted @ A1

Project No;
2370.18

Drawing No; DA01
Revision#; 11

Cover Sheet



Perspective Images



Stanton Dahl & Associates Pty Limited ABN 32 902 363 396
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08	Revised Issue - Consultant Co-ordination	08/11/19
09	Revised Architectural Issue	28/11/19
10	DA Issue	11/12/19

Average star rating
7.0
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 www.nathouse.gov.au

Certificate Number: 0706302JB2
 Assessor Name: Dean Gorman
 Accreditation number: VICBDAY13/1645
 Certificate date: 12 Dec 2019
 Dwelling address: 24-28 Vicliffe avenue, Campsie NSW 2194
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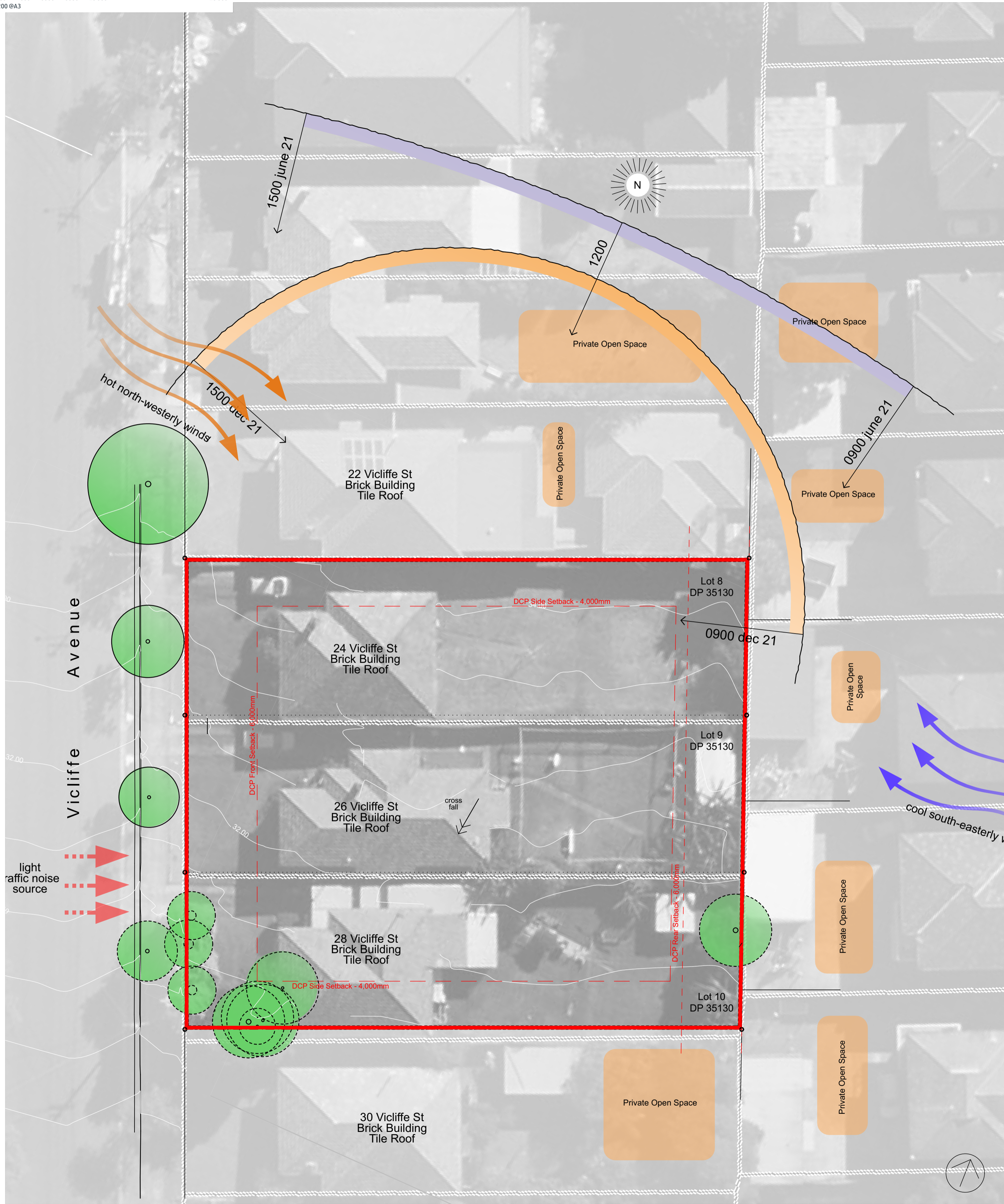
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2370.18

Drawing No;
DA02

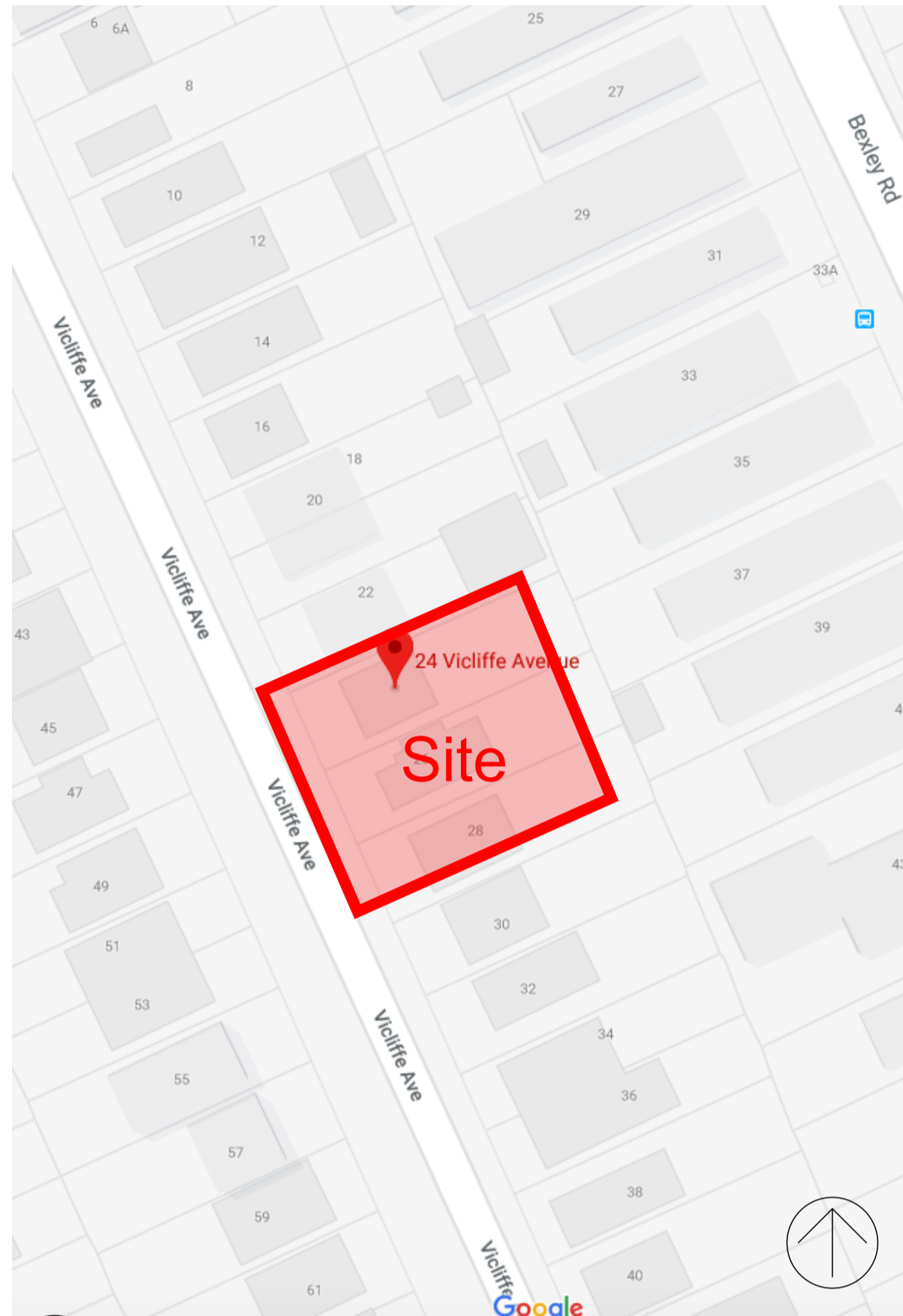
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10

Perspective Images

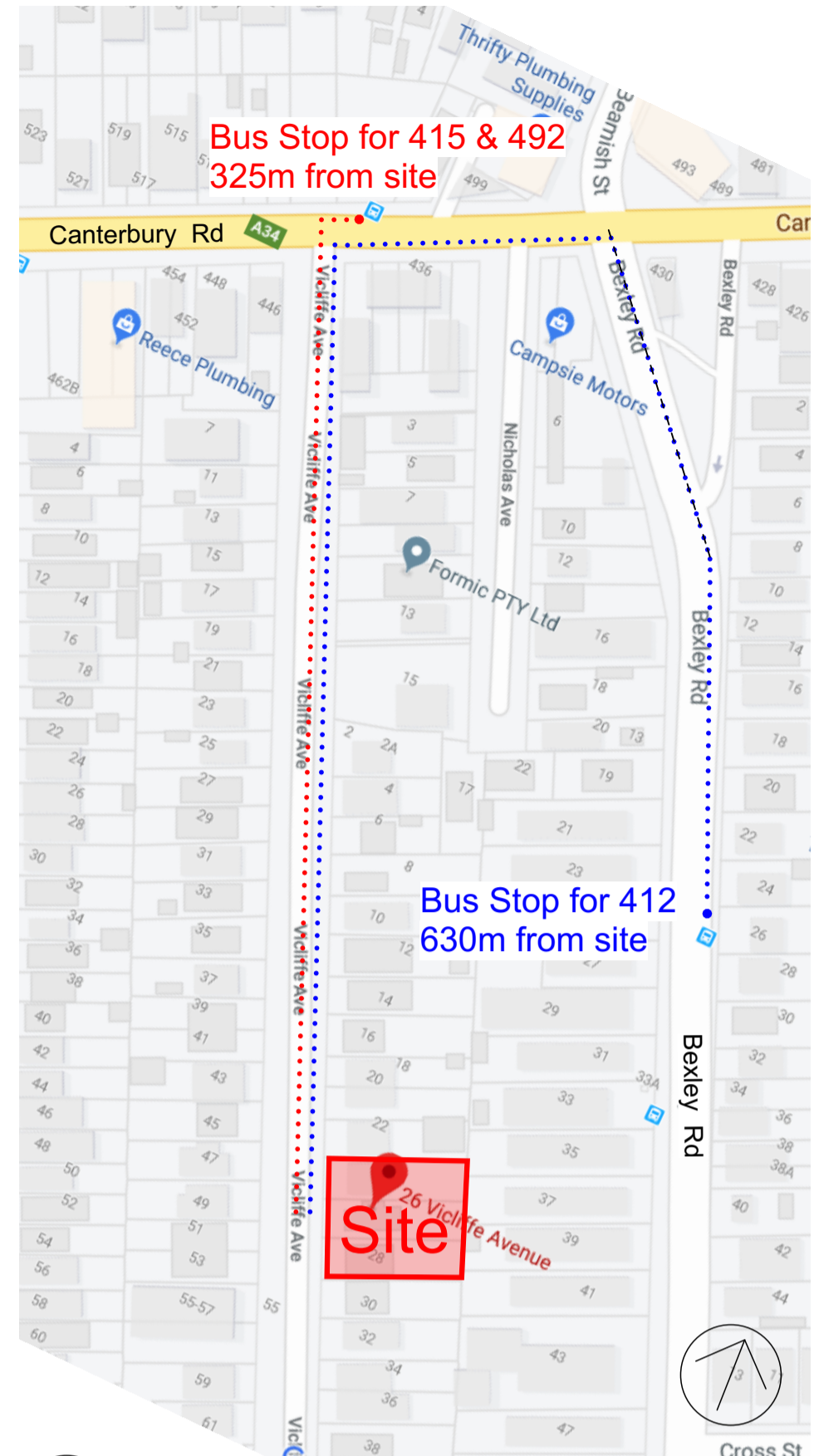
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0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A3



1 Site Analysis
1:200



2 Location Diagram
not to scale



3 Distance from Site to Bus Stops
not to scale



4 View towards 39-47 Vicliffe Avenue



5 View towards 49-51 Vicliffe Avenue

- Legend site analysis
note: drawing may not contain all items listed below
- existing trees to be retained
 - existing trees to be removed
 - boundary line
 - Campsie Town Centre - 1km
 - Clemon Park Shopping Centre - 1km
 - Bexley Rd Bus Stop - 120m

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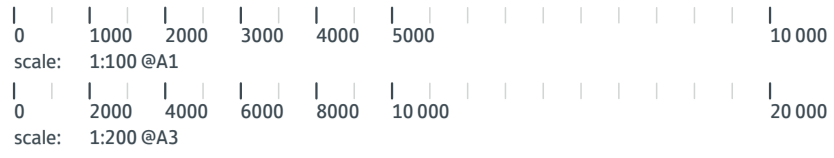
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Project No:
2370.18

Drawing No:
DA03

Revision#:
10

Site Analysis



DEVELOPMENT DATA				
ADDRESS	24-28 Vicliffe Ave, Campsie			
SITE AREA	1,817m2			
NUMBER OF EXISTING LOTS	Lots 8, 9 & 10 DP:35130			
FSR* 0.5 bonus	Max. FSR 1.4:1 (2,543.8m2)			
FSR	Proposed FSR 1.159:/1 (2,106.82m2)			
GFA*	Level 1	515.17	m2	
	Level 2	537.9	m2	
	Level 3	537.9	m2	
	Level 4	515.85	m2	
	TOTAL	2,106.82	m2	
*GFA measured to inner face of external enclosing wall, excluding lifts, stairs, services & voids.				
Total Build Area*	Basement	720.9	m2	
	Level 1	594.11	m2	
	Level 2	613.49	m2	
	Level 3	613.49	m2	
	Level 4	590.22	m2	
TOTAL	3,132.21	m2		
*Total Build Area measured to outer face of external enclosing wall, including lifts, stairs, services & voids.				
YIELD (50/50)	Bedroom No.	TOTAL		
	1 Bed Unit	14		
	2 Bed Unit	14		
	TOTAL	28		
NUMBER OF DWELLINGS	Proposed Residential Apartment Building (x 28 Units) + Basement Parking			
DWELLING BREAKDOWN				
DESCRIPTION	ISSUE			COMMENT
UNIT 101* / 401				
1 BED				
AREA = 57.16m2				
POS = 28.2m2 (ground), 37.53m2 (balcony)				
STORAGE = 6.63m3				
UNIT 102* / 202 / 302 / 402				
2 BED				
AREA = 74.05m2				
POS = 48.37m2 (ground), 10.33m2 (balcony)				
STORAGE = 13.85m3				
UNIT 103* / 203 / 303				
1 BED				
AREA = 51.13m2				
POS = 21.05m2 (ground), 8.69m2 (balcony)				
STORAGE = 8.63m3				
UNIT 104* / 204 / 304				
1 BED				
AREA = 51.13m2				
POS = 21.05m2 (ground), 8.59m2 (balcony)				
STORAGE = 8.63m3				
UNIT 105* / 205 / 305 / 405**				
2 BED				
AREA = 70.07m2				
POS = 32.52m2 (ground), 10.90m2 (balcony)				
STORAGE = 10.05m3				
UNIT 106* / 206 / 306 / 406**				
1 BED				
AREA = 55.67m2				
POS = 20.74m2, 8.49m2 (bali), 9.01m2 (bali)				
STORAGE = 7.35m3				
UNIT 107* / 207 / 307 / (ADAPTABLE), 407				
2 BED				
AREA = 85.94m2 (107 only), 86.4m2				
POS = 17.68m2 (ground), 10.01m2 (balcony)				
STORAGE = 16.38m3 (107 only), 8.63m3				
UNIT 201 / 301*				
2 BED				
AREA = 79.09m2				
POS = 22.4m2				
STORAGE = 6.63m3				
UNIT 403				
1 BED				
AREA = 51.13m2				
POS = 9.26m2				
STORAGE = 8.62m3				
UNIT 404				
1 BED				
AREA = 51.13m2				
POS = 9.09m2				
STORAGE = 8.62m3				
*dwelling floor area includes internal walls but excludes external walls.				
	Control	Requirement	Proposed	
BUILDING HEIGHT	CANTERBURY DCP	11.5m	13.1m	
PARKING	ARHSEPP	14 x 1B @ 0.4 space = 5.6 14 x 2B @ 0.5 spaces = 7	13 spaces (required 12.6)	
SETBACKS	CANTERBURY DCP	Front (street) Side Rear	6m 4m 6m	6.33m 7.2m & 9.5m 6m
LANDSCAPE AREA	CANTERBURY DCP	min. 25% of site area (454m2)	795m2 (43.8% of site area)	
DEEP SOIL	ADG	min. 15% of site area (272m2)	459.41m2 (25.2% of site area)	
COMMON AREA	ADG/SEPP 65	Communal open space has a minimum area equal to 25% of the site (454m2)	454m2 (25% of site area)	
CROSS VENTILATION	ADG	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building.	20 units (71.4% of units)	
SOLAR ACCESS	ADG	Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm	20 units (71.4% of units)	

1 Site Plan & External Works

1:100

Legend (external work / site plan)
note: drawing may not contain all items listed below

ex. contours & banking line
existing trees to be retained

x.RL00.00 → existing levels
RL00.00 → proposed levels

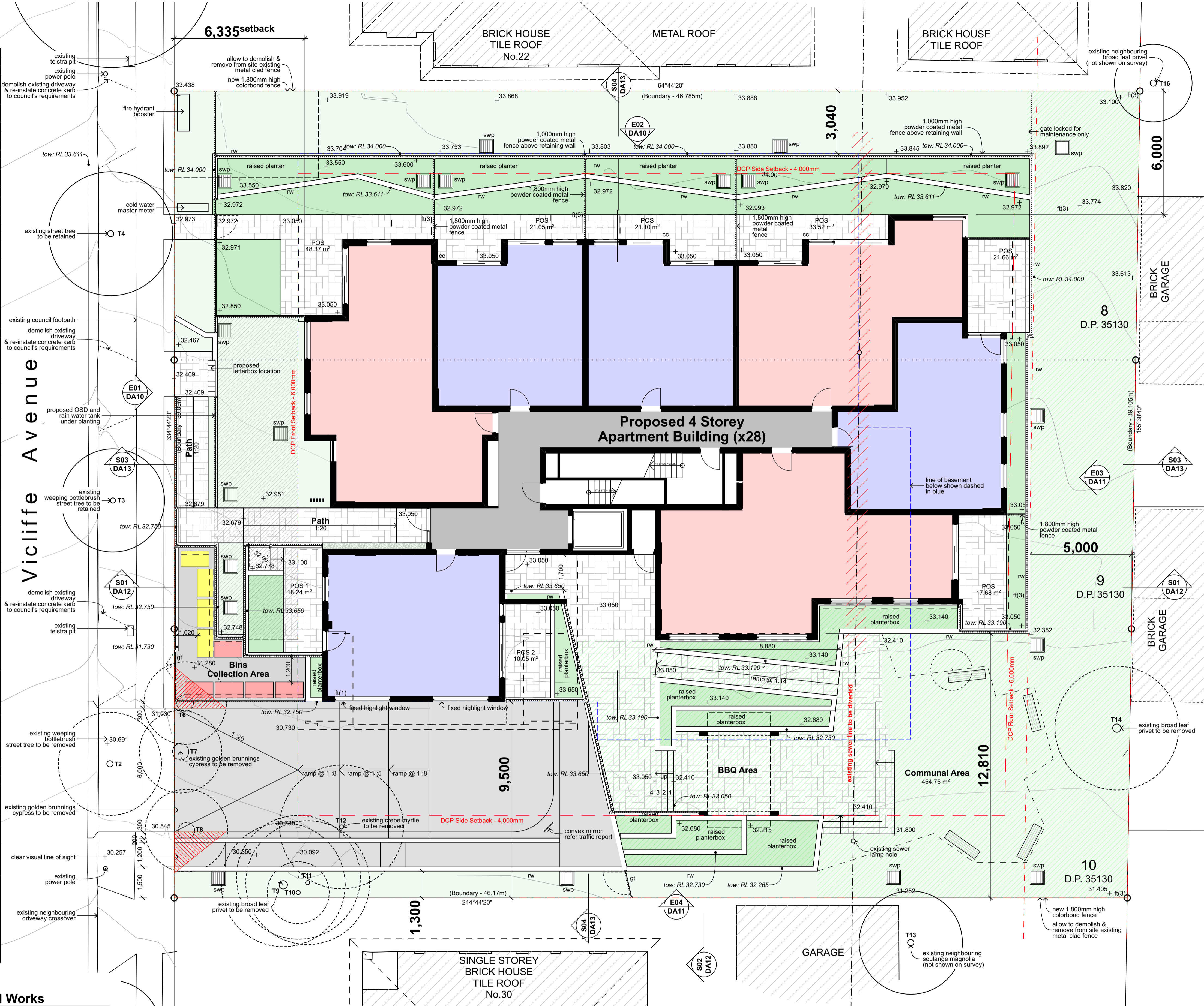
ac accessible
adh/c access panel
bal(1) balustrade (type)
bfc broom finished concrete
boe brick on edge
bol bollard
cl clothes line
col column
dp downpipe
dip doorpost

air conditioner condenser
ageing, disability & home care
access panel
broom finished concrete
brick on edge
bollard
clothes line
column
downpipe
doorpost

ex. facebrick work (type)
fence (type)
ft(1) garbage bin
gb gate
gtd grated drain
hr(1) handrail (type)
ht hose tap
hwu hot water unit
hyd hydrant
kr kerb ramp
lb letter box

off form concrete
power pole
retaining wall (type)
steel float concrete
storm water pit
trowel finished concrete
tactile ground surface indicator
top of wall
wood float concrete

Unit Typology
1 bed
2 bed



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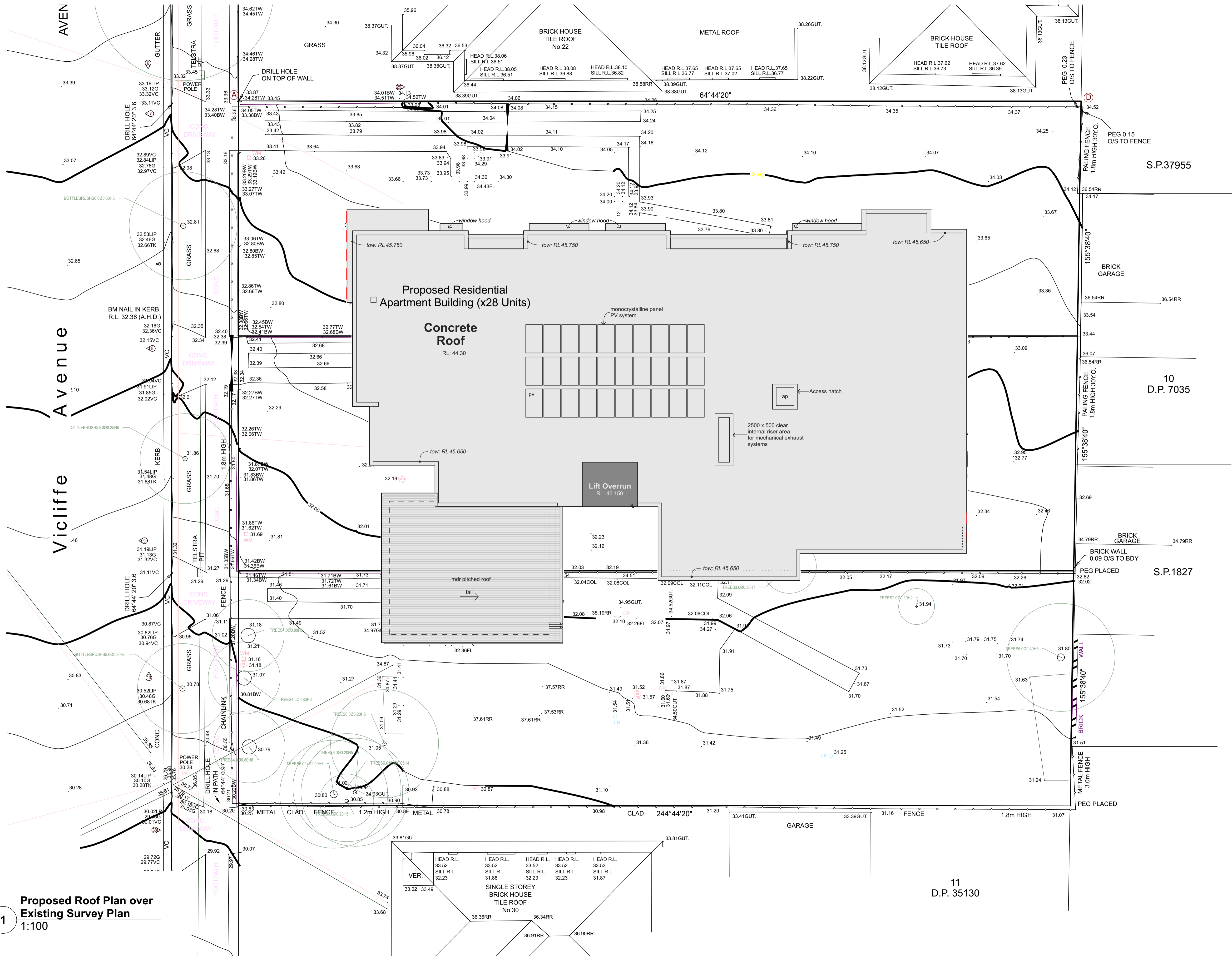
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Project No:
2370.18

Drawing No:
DA04

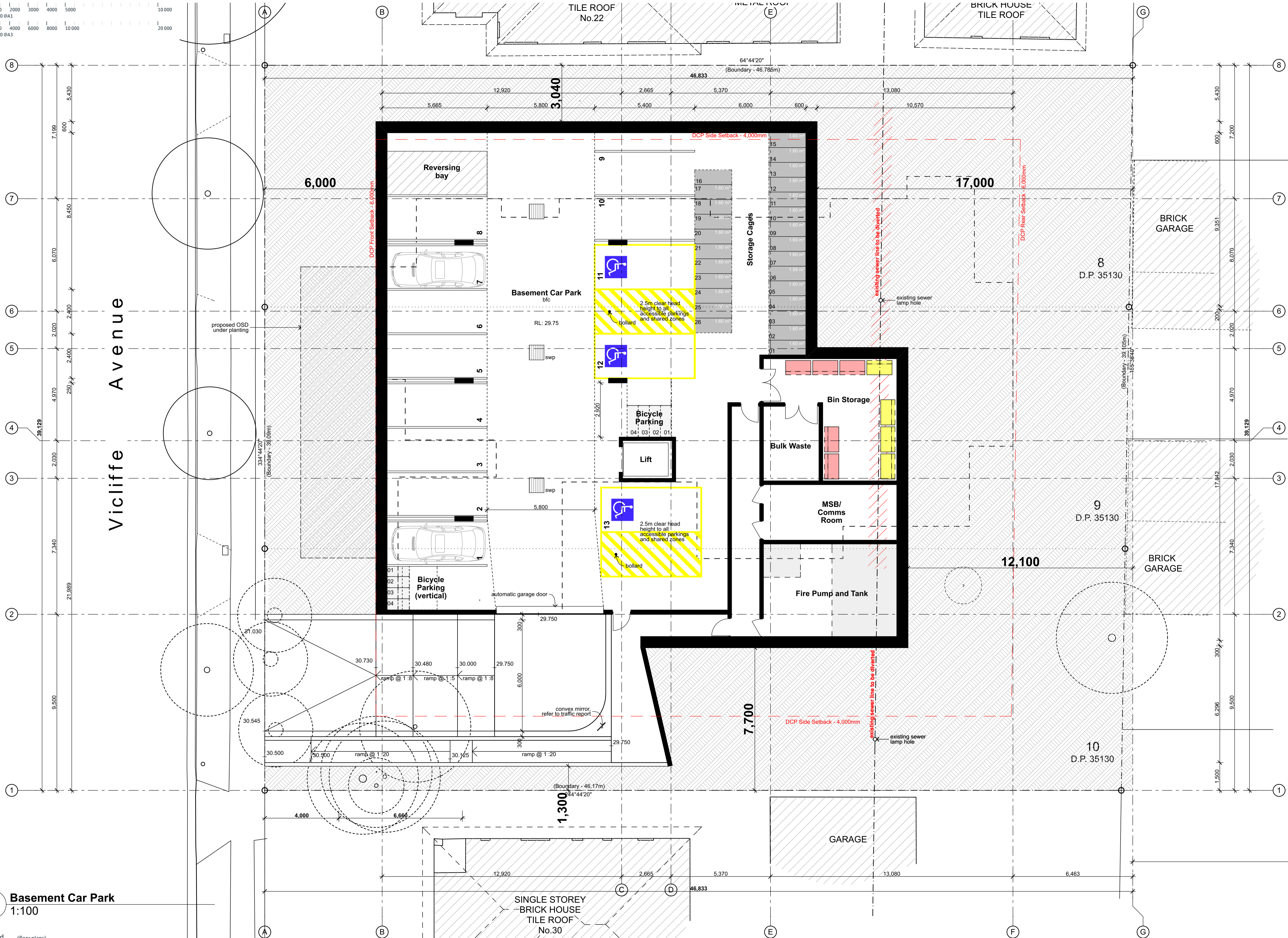
Revision#:
12

Site & External Works
Plan



Proposed Roof Plan over Survey Plan

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scale: 1:100 @A1
0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A3



01 Basement Car Park 1:100

Legend (floor plans)
note: drawing may not contain all items listed below

door numbers (as scheduled)
(prefix ex. for existing door)

window numbers (as scheduled)
(prefix ex. for existing window)

wall type (as scheduled)

ac air conditioner condenser
acc accessible

adhc ageing, disability & home care
amb ambulant
ap access panel
bal(1) balustrade (type)
bfc broom finish concrete
bol bollard
brm broom cupboard
bsn basin
cft(1) ceramic floor tile (type)
cl control joint
cl clothes line
col column

comms cpt(1)
ct downpipe
dp doorpost
edb electrical distribution box
ex existing
fb(1) face brickwork (type)
fhr fire hose reel
fm floor mat
fs fridge space
fw floor waste

communication cabinet
carpet (type)
cooktop
downpipe
doorpost
electrical distribution box
existing
face brickwork (type)
fire hose reel
floor mat
fridge space
floor waste

gb garbage bin
gt gate
gtd grated drain
hr(1) handrail (type)
ht hose tap
hwu hot water unit
hydrant
kerb ramp
letter box
linen cupboard
microwave
off form concrete

p/c pantry
pty refrigerator
ref recessed floor mat
rfo wardrobe
rw(1) retaining wall (type)
rwt rainwater tank
snk sink
sc steel column
sfc steel float concrete
shr shower
sk skylight/skytube

photocopier
pantry
refrigerator
recessed floor mat
wardrobe
retaining wall (type)
rainwater tank
sink
steel column
steel float concrete
shower
skylight/skytube

sl sliding door
st store
sv(1) sheet vinyl (type)
swp storm water pit
tgsi tactile ground surface indicators
vp vent pipe
wfc wood float concrete
wm washing machine space
wo wall oven
ws wheel stop

sliding door
store
sheet vinyl (type)
storm water pit
tactile ground surface indicators
vent pipe
wood float concrete
washing machine space
wall oven
wheel stop

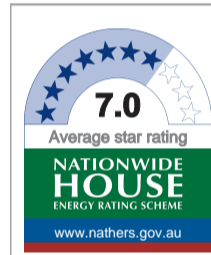
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2370.18

Drawing No; DA05
Revision#; 12

Basement Car Park Plan

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 @A1
0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A3



1 Floor Plan - Level 2-3 (Typical)
1:100

Legend (floor plans)

note: drawing may not contain all items listed below

- door numbers (as scheduled)
(prefix ex. for existing door)
- window numbers (as scheduled)
(prefix ex. for existing window)
- wall type (as scheduled)
- air conditioner condenser
- accessible

- ageing, disability & home care
- ambulant
- balustrade (type)
- broom finish concrete
- bollard
- broom cupboard
- basin
- ceramic floor tile (type)
- control joint
- clothes line
- column

- communications cabinet
- carpet (type)
- downpipe
- doorpost
- electrical distribution box
- existing face brickwork (type)
- fire hose reel
- floor mat
- fridge space
- floor waste

- garbage bin
- gate
- grated drain
- handrail (type)
- hose tap
- hot water unit
- hydrant
- kerb ramp
- letter box
- linen cupboard
- microwave
- off form concrete

- photocopier
- pantry
- refrigerator
- recessed floor mat
- wardrobe
- retaining wall (type)
- rainwater tank
- sink
- steel column
- steel float concrete
- shower
- skylight/skytube

- sliding door
- store
- sheet vinyl (type)
- storm water pit
- tactile ground surface indicators
- vent pipe
- wood float concrete
- washing machine space
- wall oven
- wheel stop

Note: All washing machines to be 700mm wide.

- Unit Typology
- 1 bed
- 2 bed



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Floor Plan - Level 2-3
(Typical)

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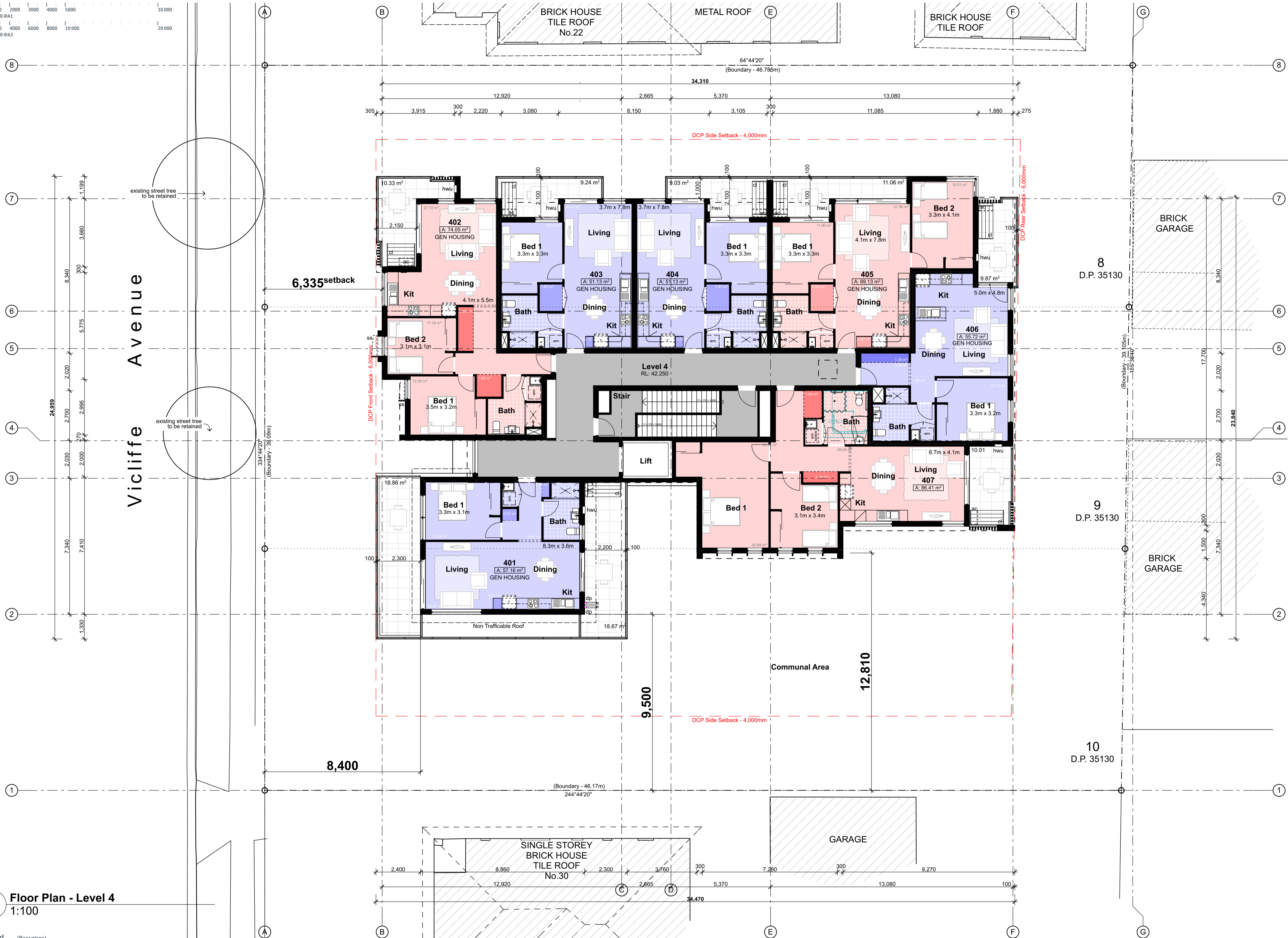
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0 1000 2000 3000 4000 5000 10 000
scale: 1:100 @A1
0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A3



1 Floor Plan - Level 4 1:100

Legend (floor plans)

note: drawing may not contain all items listed below

- door numbers (as scheduled)
(prefix ex. for existing door)
- window numbers (as scheduled)
(prefix ex. for existing window)
- wall type (as scheduled)
- air conditioner condenser
- accessible

- ageing, disability & home care
- ambulant
- access panel
- balustrade (type)
- broom finish concrete
- bollard
- broom cupboard
- basin
- ceramic floor tile (type)
- control joint
- clothes line
- column

- communications cabinet
- carpet (type)
- downpipe
- doorpost
- electrical distribution box
- existing face brickwork (type)
- fire hose reel
- floor mat
- clothes line
- floor waste

- garbage bin
- gate
- grated drain
- handrail (type)
- hose tap
- hot water unit
- hydrant
- kerb ramp
- letter box
- linen cupboard
- microwave
- off form concrete

- photocopier
- pantry
- refrigerator
- recessed floor mat
- wardrobe
- retaining wall (type)
- rainwater tank
- sink
- steel column
- steel float concrete
- shower
- skylight/skytube

- sliding door
- store
- sheet vinyl (type)
- storm water pit
- tactile ground surface indicators
- vent pipe
- wood float concrete
- washing machine space
- wall oven
- wheel stop

Note: All washing machines to be 700mm wide.

Unit Typology

- 1 bed
- 2 bed

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Rev	Issue	Date
03	Issue to Access Consultant	20/3/19
04	Draft DA Package	27/3/19
05	Final DA Package	16/4/19
06	Issue To Access	16/04/19
07	Final DA Package	24/04/19
08	Final DA Package	30/4/19
09	Final DA Package	7/5/19
10	Revised Issue - Consultant Co-ordination	08/11/19
11	Revised Architectural Issue	28/11/19
12	DA Issue	11/12/19



Certificate Number: 0706302JB2
Assessor Name: Dean Gorman
Accreditation number: VICBDV13/1645
Certificate date: 12 Dec 2019
Dwelling address: 24-28 Vicliffe Avenue, Campsie NSW 2194
www.nathans.gov.au



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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,
Campsie, NSW

Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

Scale: 1:100 as noted @ A1

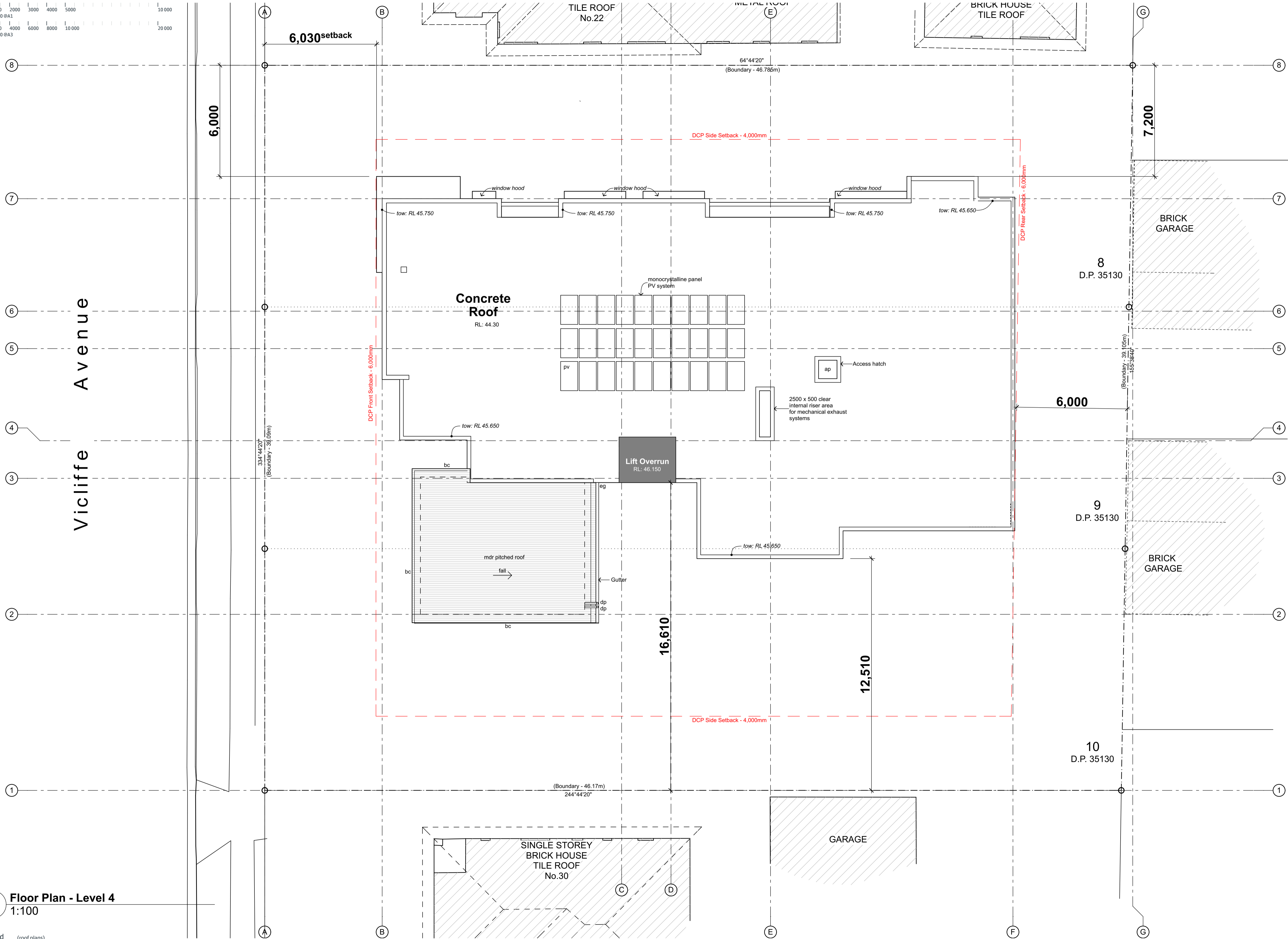
Project No;
2370.18

Drawing No;
DA08

Revision#;
12

Floor Plan - Level 4

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 @A1
0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A3



1 Floor Plan - Level 4
1:100

- Legend** (roof plans)
note: drawing may not contain all items listed below
- | | | | |
|-----|--------------------------|-----|--------------------|
| ap | access panel | rwc | roof ridge capping |
| bc | barge capping | rwh | rainwater head |
| dp | downpipe | sk | skylight/skylight |
| eg | eaves gutter | tf | tray flashing |
| ex | existing | vg | valley gutter |
| fg | flashing | vof | vertical overflow |
| gu | gutter | vp | vent pipe |
| mdr | metal deck roof sheeting | | |
| of | overflow | | |
| pc | parapet capping | | |
| pv | photovoltaic cells | | |

note:

- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
- gutter on brackets as specified
- roof safety system to be installed, refer to specification
- provide gutter-guards to all guttering throughout refer to reference specification for 'group homes' construction adhc august 2012
- metal roof sheeting to comply with AS1562.1

- gutters, downpipes and flashing must comply with AS/NZ 2179.1 and AS1273 and not contain any lead for potable water supplies. The roof water is not proposed to be used for potable water supply.
- down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5

- the fire hazard properties of materials used must comply with the following:
(a) sacking-type materials used in the roof must have a flammability index not greater than 5.
(b) flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4254.

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24-28 Viccliffe Avenue,
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Checked; jok
Plot date; 12/12/19

Scale; 1:100 as noted @ A1

Project No;
2370.18

Drawing No;
DA09

Revision#;
10

Roof Plan





E04 South Elevation
1:100



E03 East Elevation
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvers
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compessed fibre cement

cj	control joint
conc.	concrete
cs	coved skirting
dp	downpipe
dth	door head
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fcl	finished ceiling level
fl	finished floor level

flv	fixed louvres
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
flv	fixed louvres
mrc(1)	metal cladding (type)
mdr	metal deck roof
nc	non structural column
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)

pap(1)	perforated acoustic panel (type)
pbd	plasterboard
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp	render & paint finish
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sl	sliding door

ss(1)	sun shade (type)
ts	timber skirting

note:

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date;12/12/19

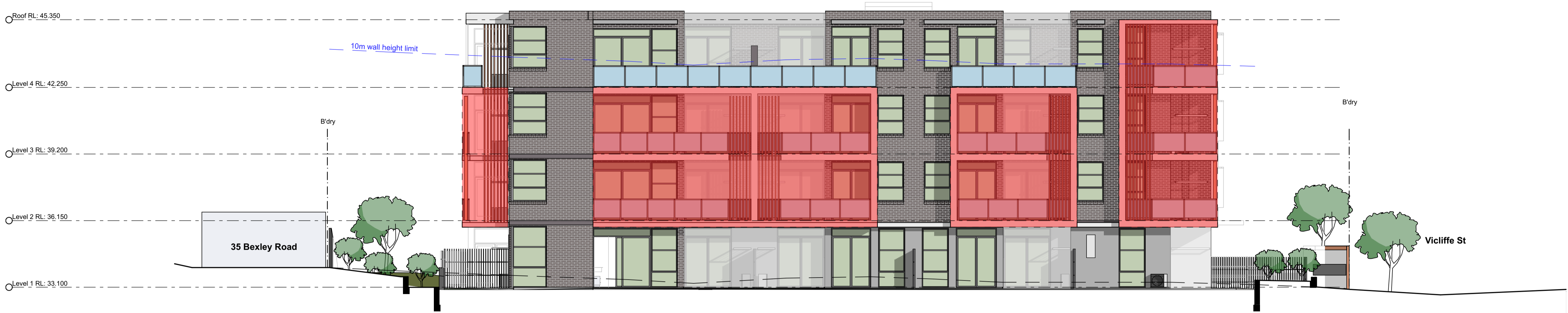
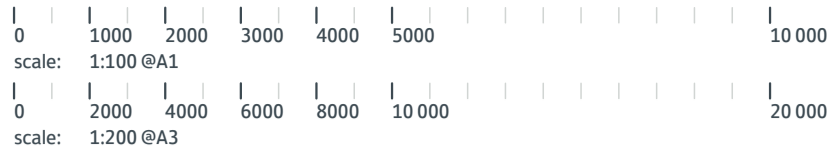
Scale; 1:100 as noted @ A1

Project No;
2370.18

Drawing No;
DA11

Revision#;
10

Elevations (Sht 2 of 2)



E02 North Elevation
1:100



E01 West Elevation (Vicliffe St)
1:100

Legend
Projected Building Elements

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Rev	Issue	Date
01	Revised Architectural Issue	10/12/19



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Campsie, NSW

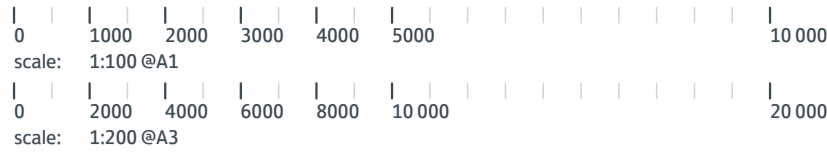
Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

Scale; 1:100 as noted @ A1

Project No;
2370.18

Drawing No; **DA11B** Revision#; **01**

**Building Wall Height
Diagram (Sht 1 of 2)**



E04 South Elevation
1:100



E03 East Elevation
1:100

Legend
Projected Building Elements

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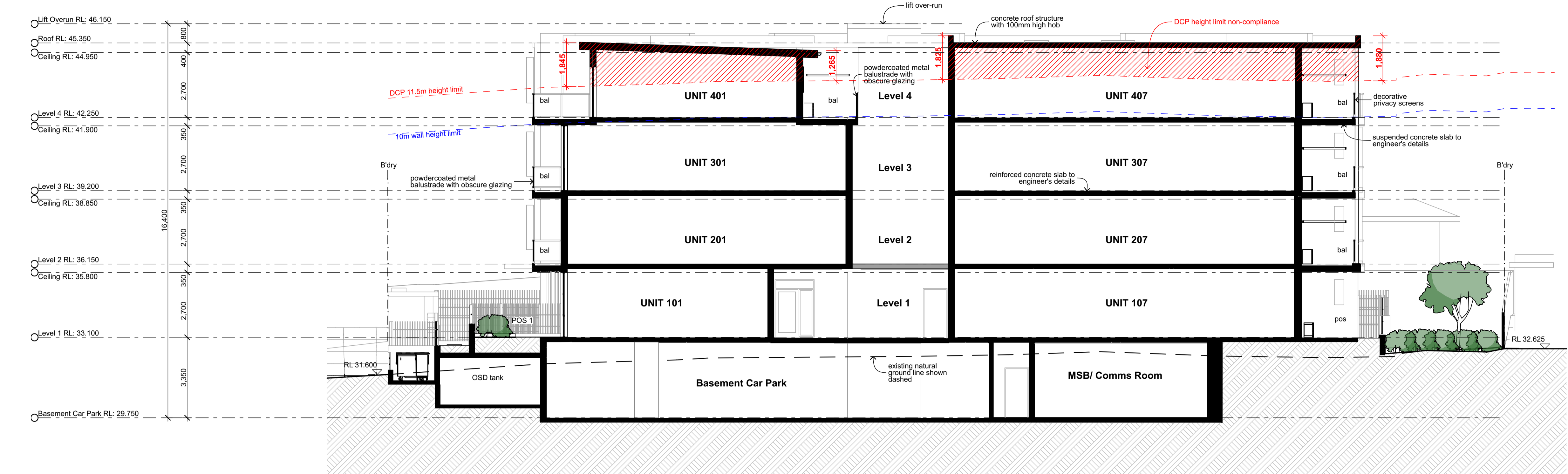
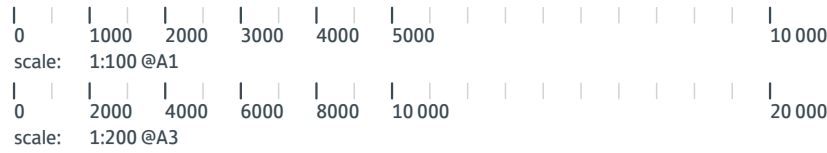
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Plot date; 12/12/19

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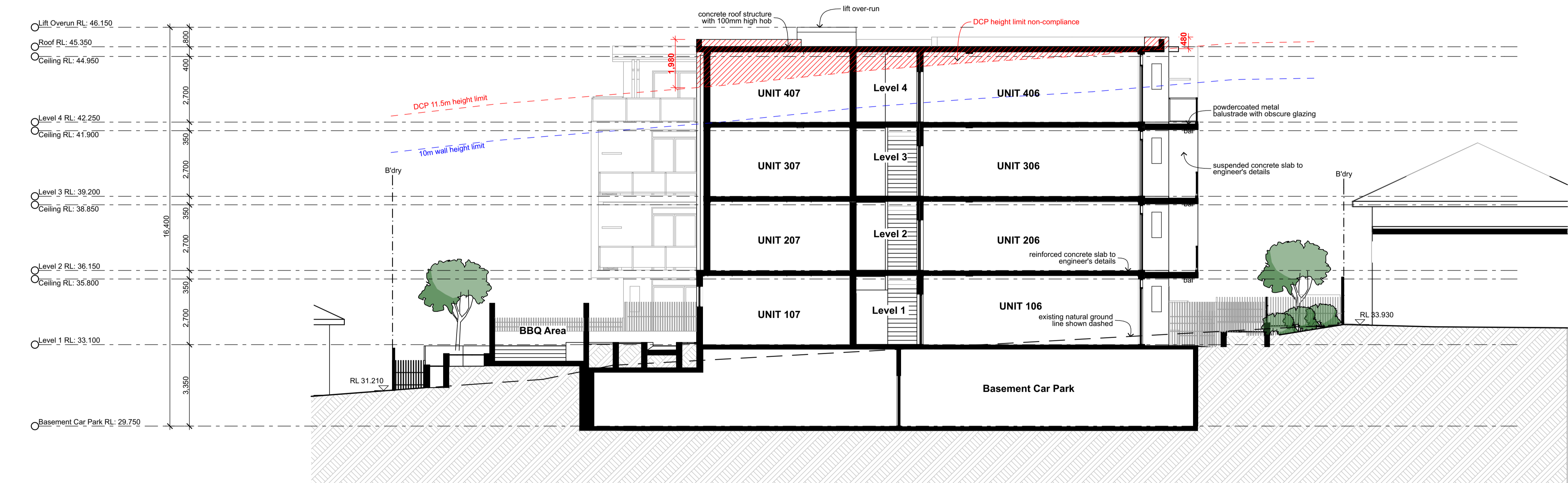
Project No;
2370.18

Drawing No; **DA11C** Revision#; **01**

Building Wall Height
Diagram (Sht 2 of 2)



S01 Section
1:100



S02 Section
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac air conditioner condenser
ag pipe
ajv adjustable louvers
alw aluminium framed window
bal(1) balustrade (type)
bc barge capping
bg box gutter
bhc brick header course
boe brick on edge
bws brickwork sill
cfc compressed fibre cement

cj control joint
conc. concrete
cs coved skirting
dp downpipe
dth door head
eg eaves gutter
egl existing ground line
ex. existing
f fixed sash window
fb(1) face brickwork (type)
fcl finished ceiling level
fl finished floor level

flv fixed louvers
gl ground line
gt gate
hr(1) handrail (type)
ip insulated panel
flv fixed louvers
mc(1) metal cladding (type)
mdr metal deck roof
nc non structural column
ofc off form concrete
olr operable louvers
p(1) paint (type)

pap(1) perforated acoustic panel (type)
pbd plasterboard
pv photovoltaic cells
rc rendered concrete
rms raked metal soffit
rp render & paint finish
rs roller shutter
rw retaining wall
rwh rainwater head
s sliding sash window
sc steel column
sl sliding door

ss(1) sun shade (type)
ts timber skirting

note:

1. all handrails, balustrades & louvers shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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06	Final DA Package	30/4/19
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08	Revised Issue - Consultant Co-ordination	08/11/19
09	Revised Architectural Issue	28/11/19
10	Revised Architectural Issue	10/12/19
11	DA Issue	11/12/19



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Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

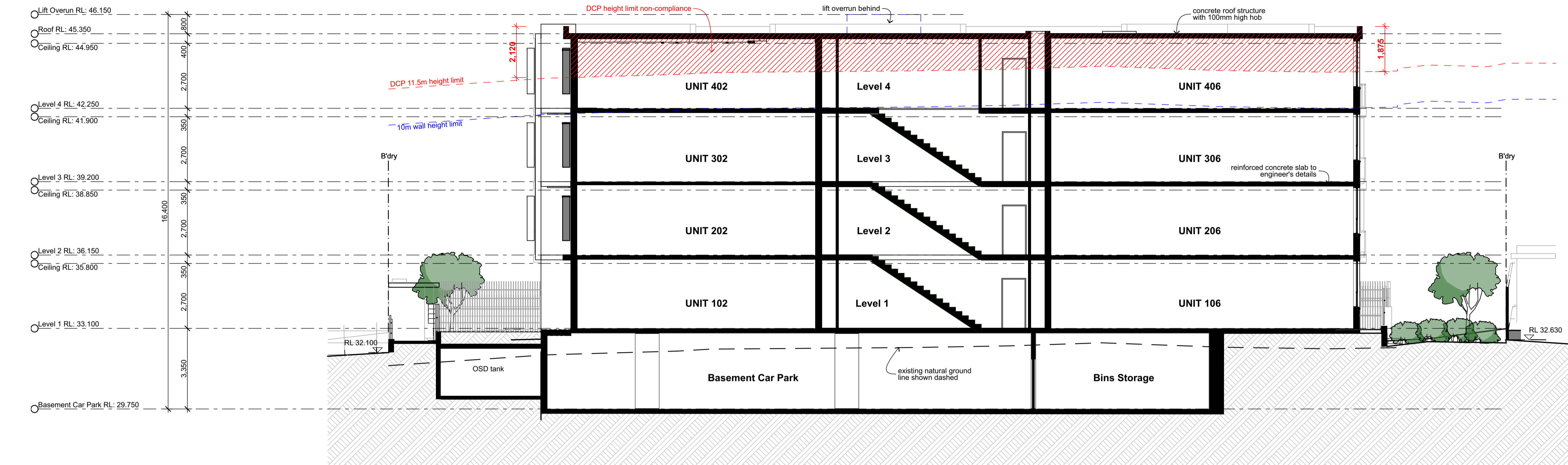
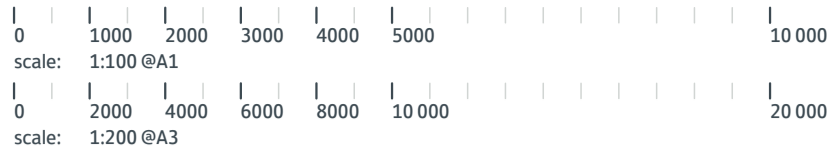
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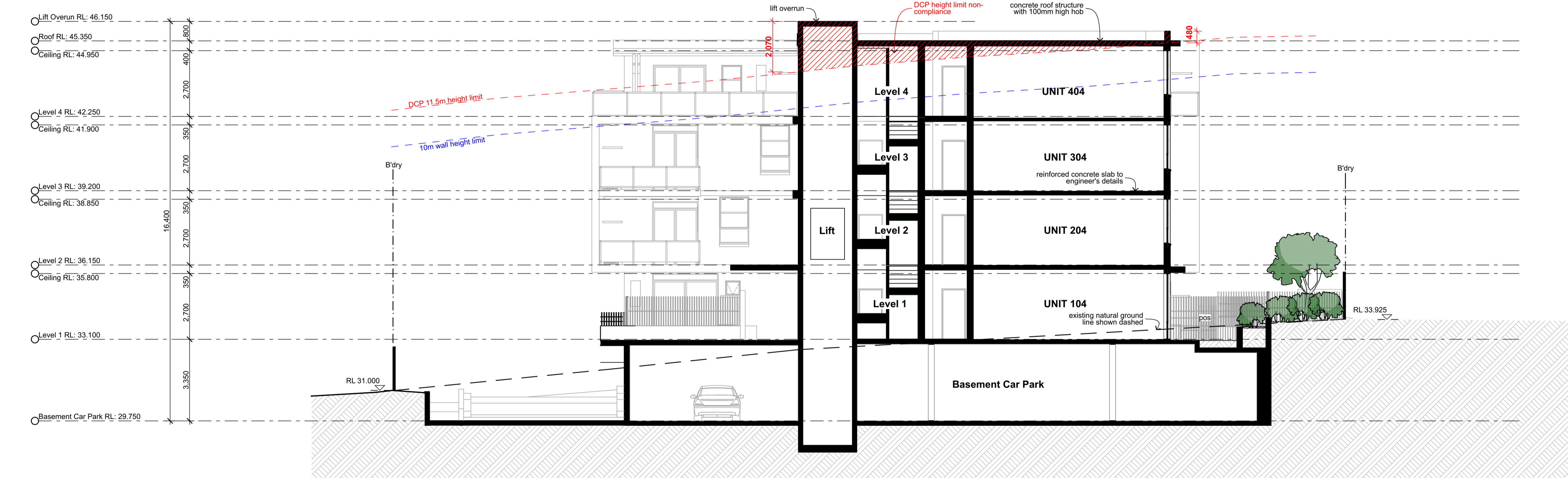
Drawing No;
DA12

Revision#;
11

Sections (Sht 1 of 2)



S03 Section
1:100



S04 Section
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	air pipe
alv	adjustable louvers
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compessed fibre cement

cj	control joint
conc.	concrete
cs	coved skirting
dp	downpipe
dth	door head
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fcf	finished ceiling level
fl	finished floor level

flv	fixed louvers
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
flv	fixed louvers
mrc(1)	metal cladding (type)
mdr	metal deck roof
nc	non structural column
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)

pap(1)	perforated acoustic panel (type)
pbd	plasterboard
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp	render & paint finish
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sl	sliding door

ss(1)	sun shade (type)
ts	timber skirting

note:

1. all handrails, balustrades & louvers shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
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Checked;jok
Plot date;12/12/19

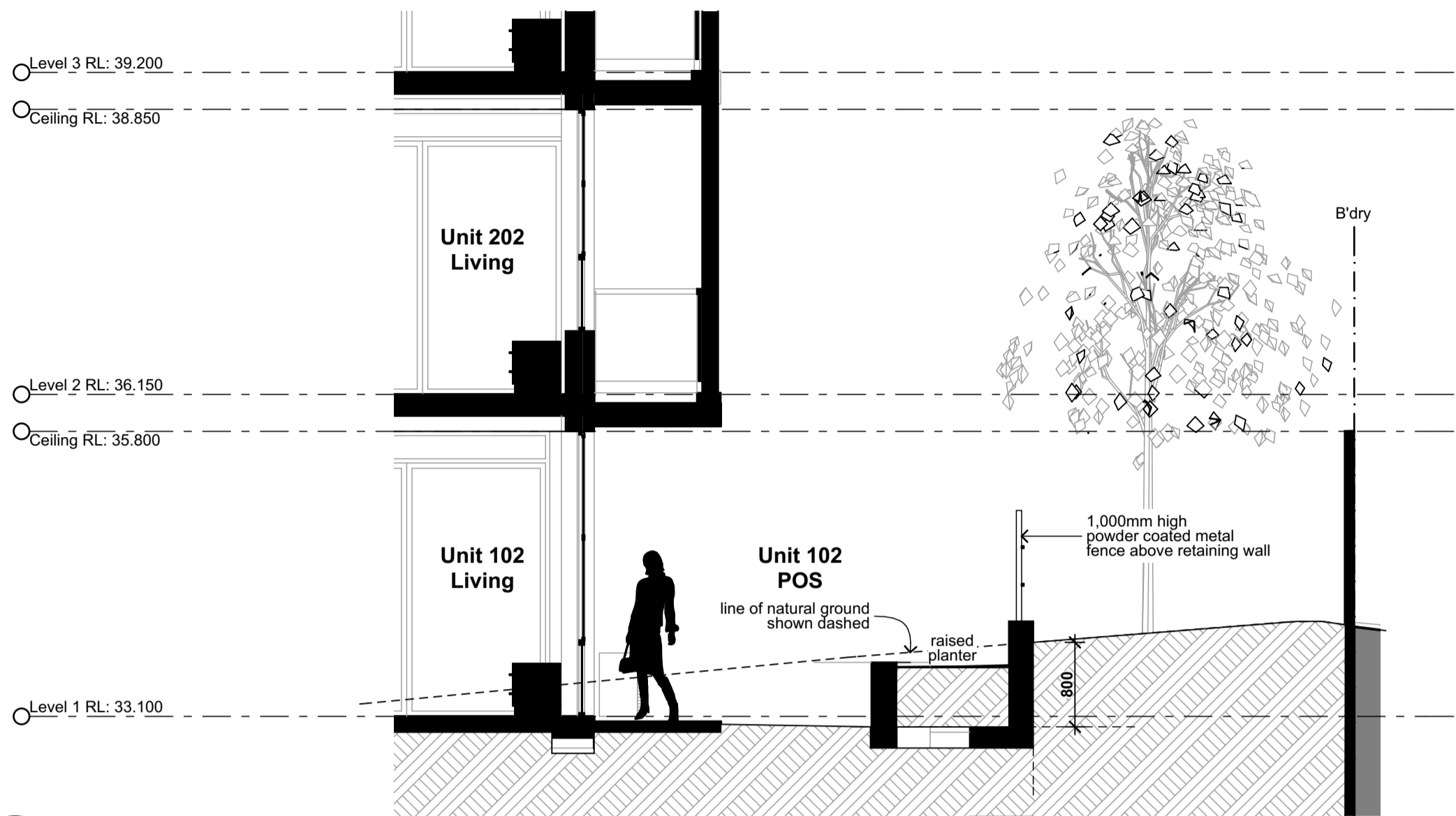
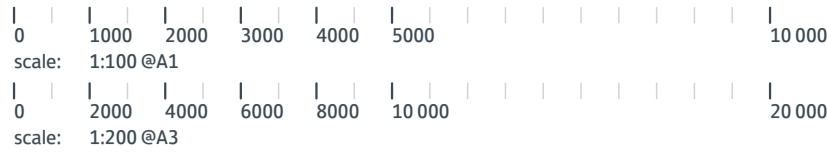
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Project No;
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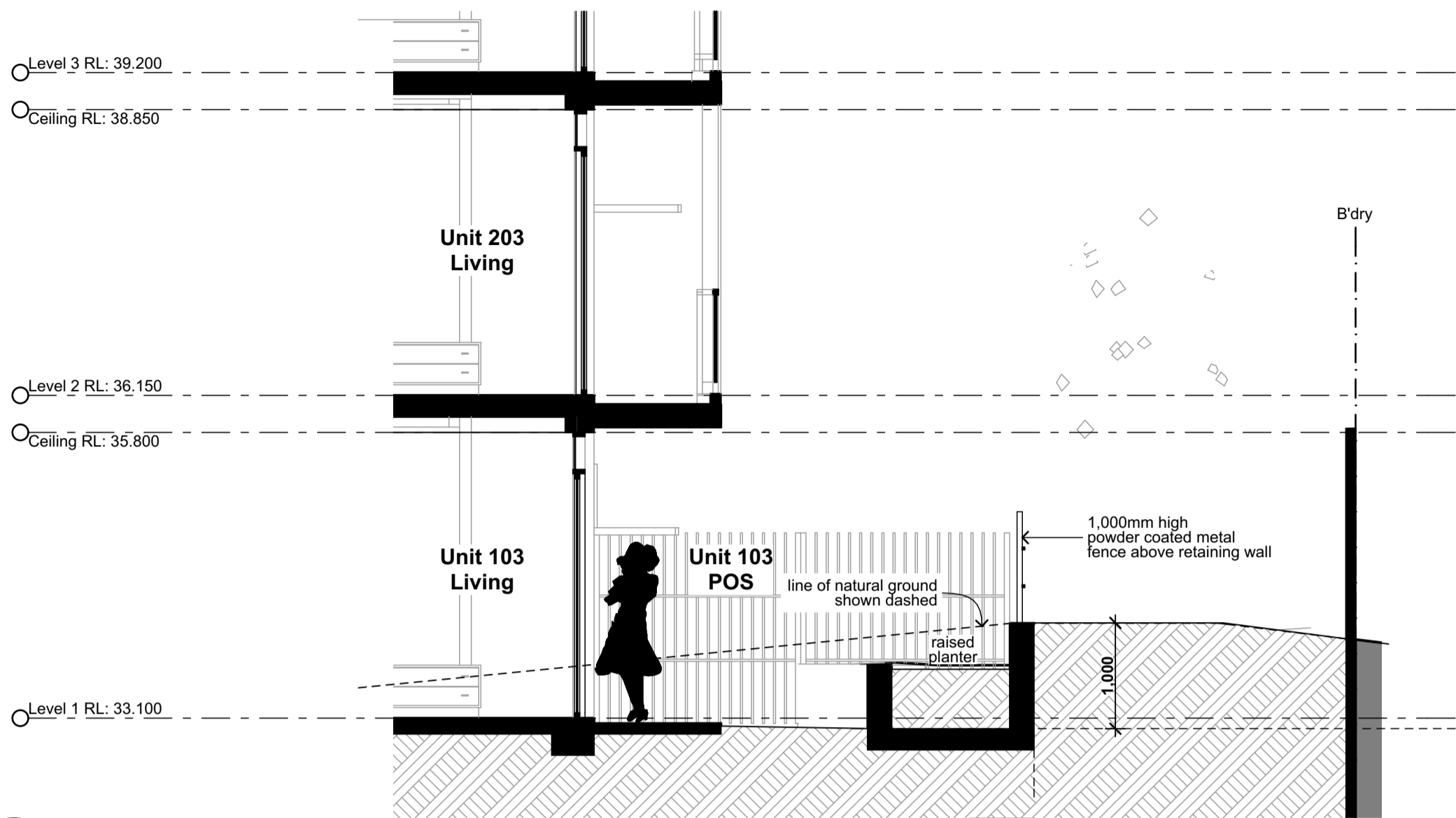
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DA13

Revision#;
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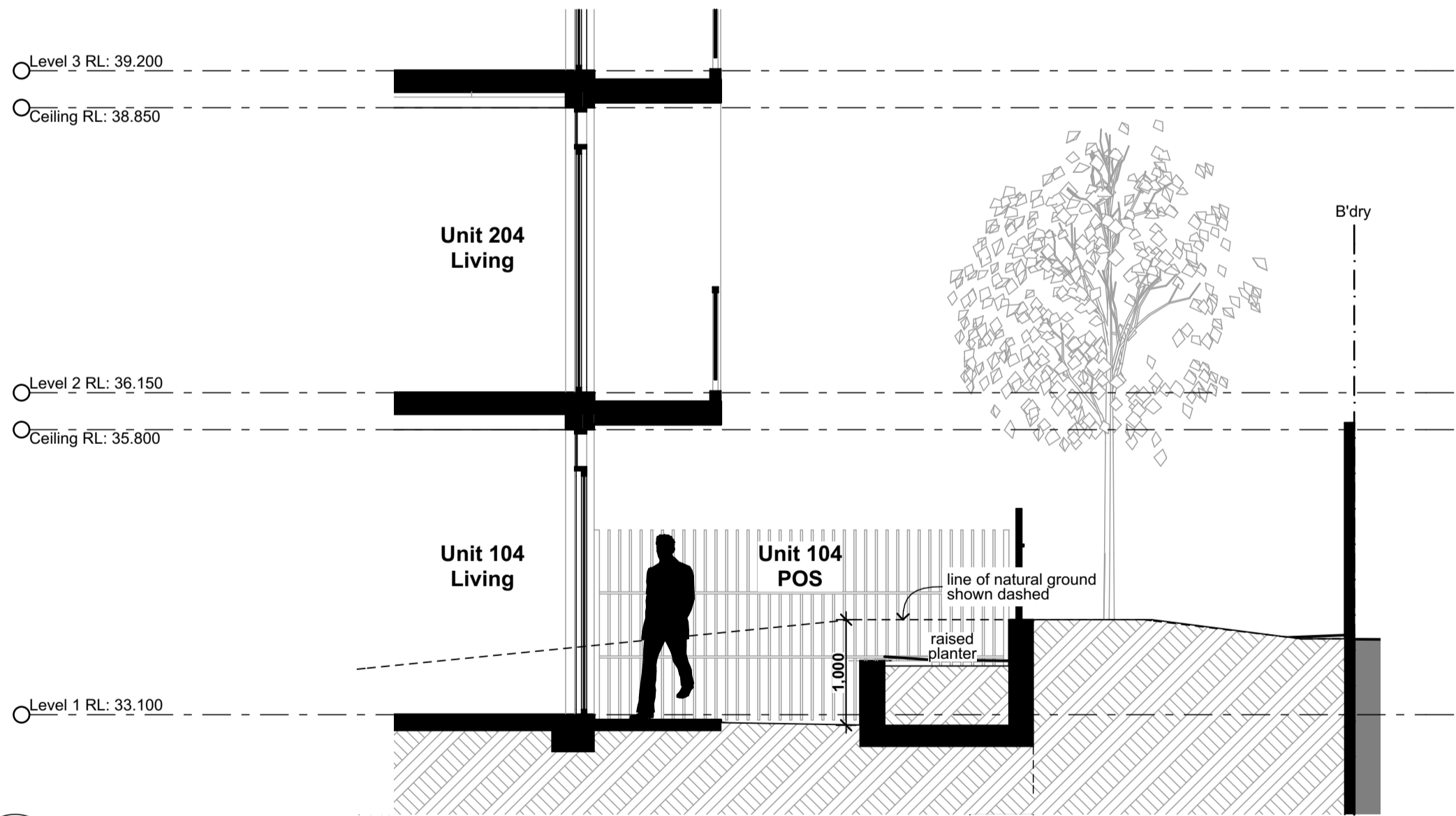
Sections (Sht 2 of 2)



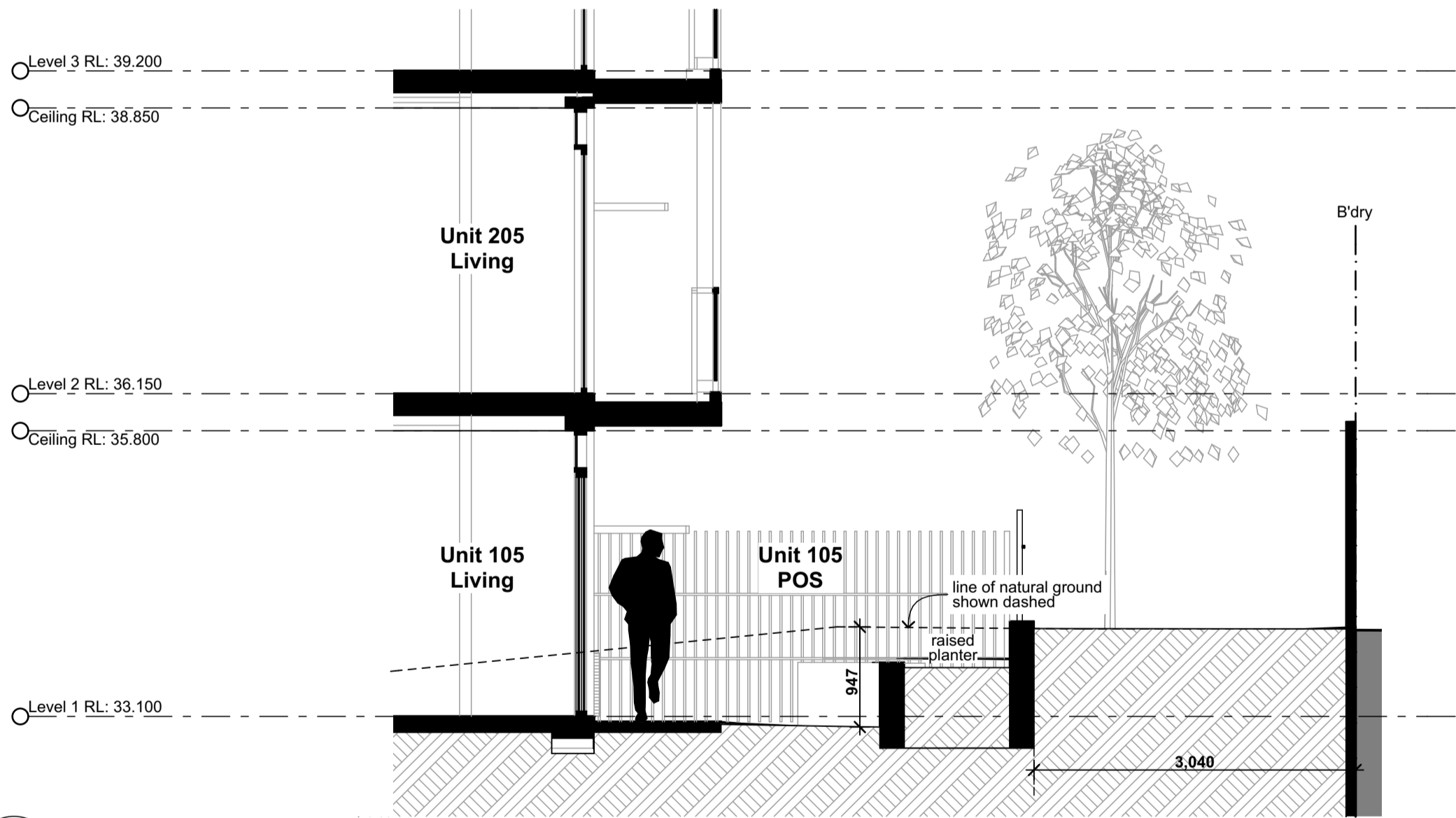
1 Section through U102 POS
1:50



2 Section through U103 POS
1:50



3 Section through U104 POS
1:50



4 Section through U105 POS
1:50

Legend (elevation & sections)							
note: drawing may not contain all items listed below							
ac	air conditioner condenser	cj	control joint	flv	fixed louvres	pap(1)	perforated acoustic panel (type)
ag	ag pipe	conc.	concrete	gl	ground line	pbd	plasterboard
alv	adjustable louvres	cs	coved skirting	gt	gate	pv	photovoltaic cells
alw	aluminium framed window	dp	downpipe	hr(1)	handrail (type)	rc	rendered concrete
bal(1)	balustrade (type)	dth	door head	ip	insulated panel	rms	raked metal soffit
bc	barge capping	eg	eaves gutter	flv	fixed louvres	rp	render & paint finish
bg	box gutter	egl	existing ground line	mc(1)	metal cladding (type)	rs	roller shutter
bhc	brick header course	ex.	existing	mdr	metal deck roof	rw	retaining wall
boe	brick on edge	f	fixed sash window	nc	non structural column	rwh	rainwater head
bws	brickwork sill	fb(1)	face brickwork (type)	ofc	off form concrete	s	sliding sash window
cfc	compessed fibre cement	fcf	finished ceiling level	olv	operable louvres	sc	steel column
		fl	finished floor level	p(1)	paint (type)	sl	sliding door

note:

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
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Rev	Issue	Date
01	Revised Architectural Issue	28/11/19
02	DA Issue	11/12/19



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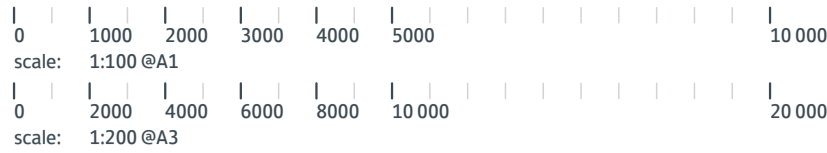
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Checked; jok
Plot date; 12/12/19

Scale; 1:50 as noted @ A1

Project No;
2370.18

Drawing No; DA13B
Revision; 02

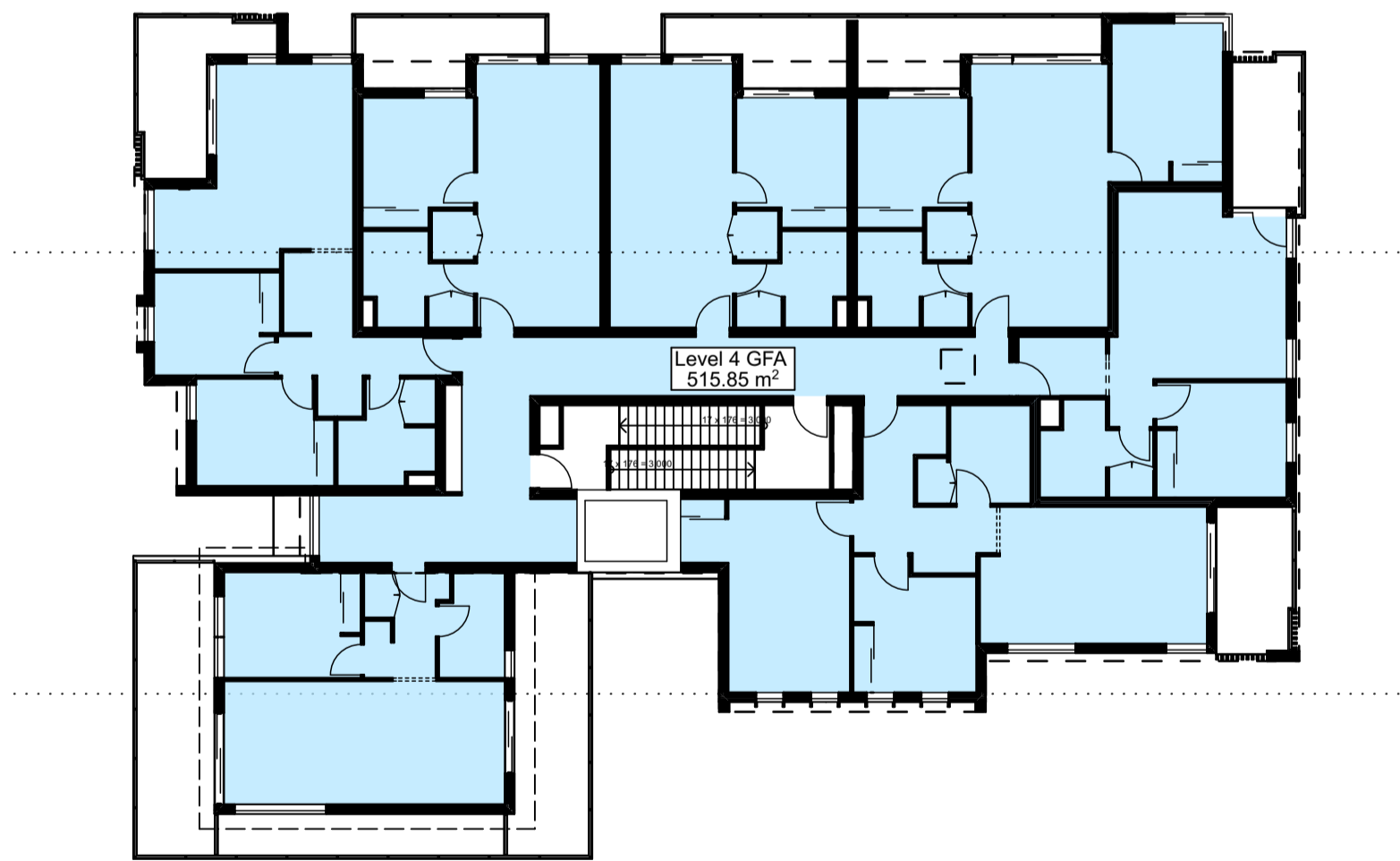
Sections (over POS)



1 GFA Diagram - Ground Level
1:200



2 GFA Diagram - Typical (Levels 2-3)
1:200



3 GFA Diagram - Level4
1:200

DEVELOPMENT DATA				
ADDRESS	24-28 Vicliffe Ave, Campsie			
SITE AREA	1,817m2			
FSR* 0:5 bonus	Max. FSR 1.4:1 (2,543.8m2)			
FSR	Proposed FSR 1.159:1 (2,106.82m2)			
GFA*	Level 1	515.17	m2	
	Level 2	537.9	m2	
	Level 3	537.9	m2	
	Level 4	515.85	m2	
	TOTAL	2,106.82	m2	
*GFA measured to inner face of external enclosing wall, excluding lifts, stairs, services & voids.				
Total Build Area*	Basement	720.9	m2	
	Level 1	594.11	m2	
	Level 2	613.49	m2	
	Level 3	613.49	m2	
	Level 4	590.22	m2	
	TOTAL	3,132.21	m2	
*Total Build Area measured to outer face of external enclosing wall, including lifts, stairs, services & voids.				

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07	Revised Architectural Issue	28/11/19
08	DA Issue	11/12/19



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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date;12/12/19

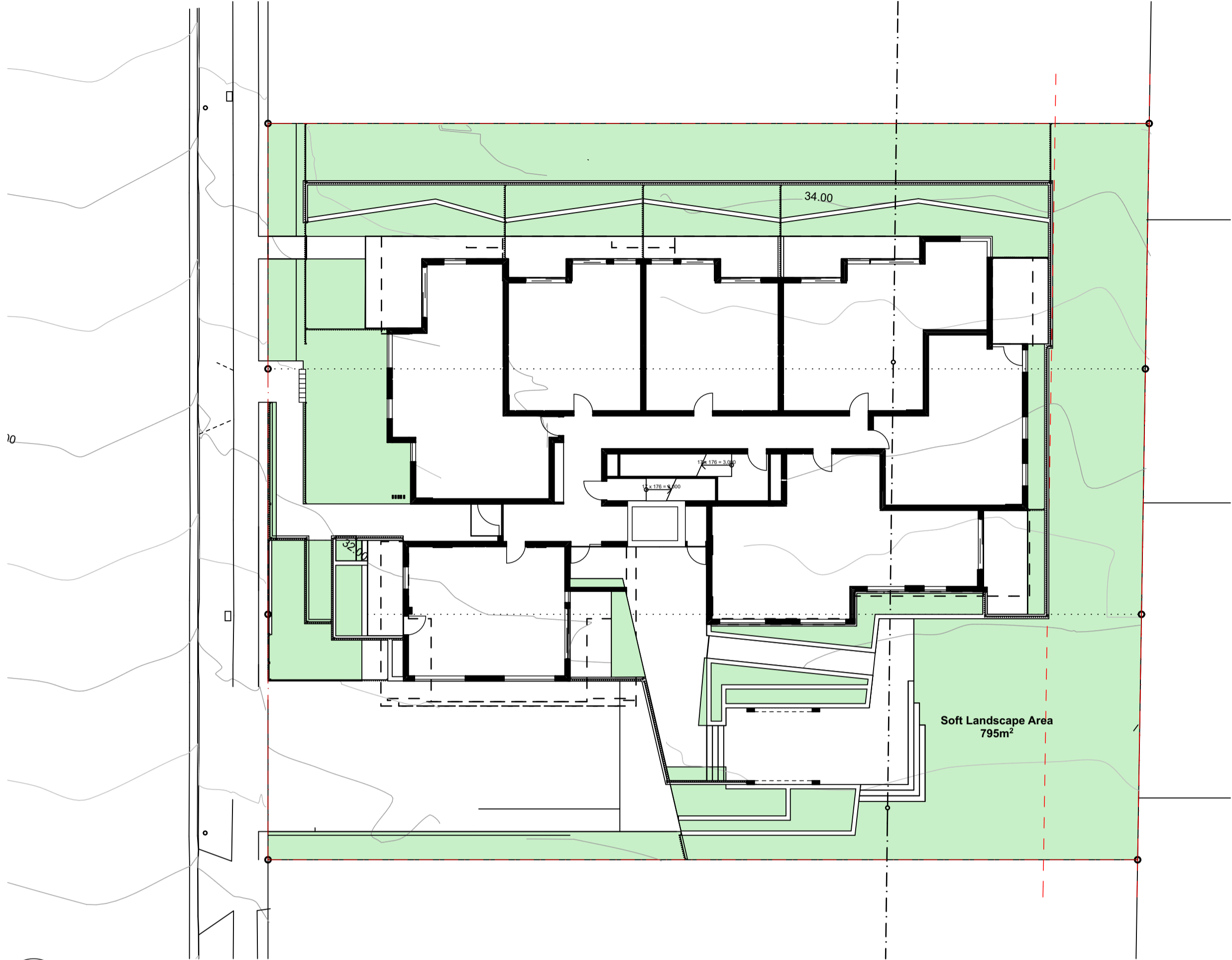
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Project No;
2370.18

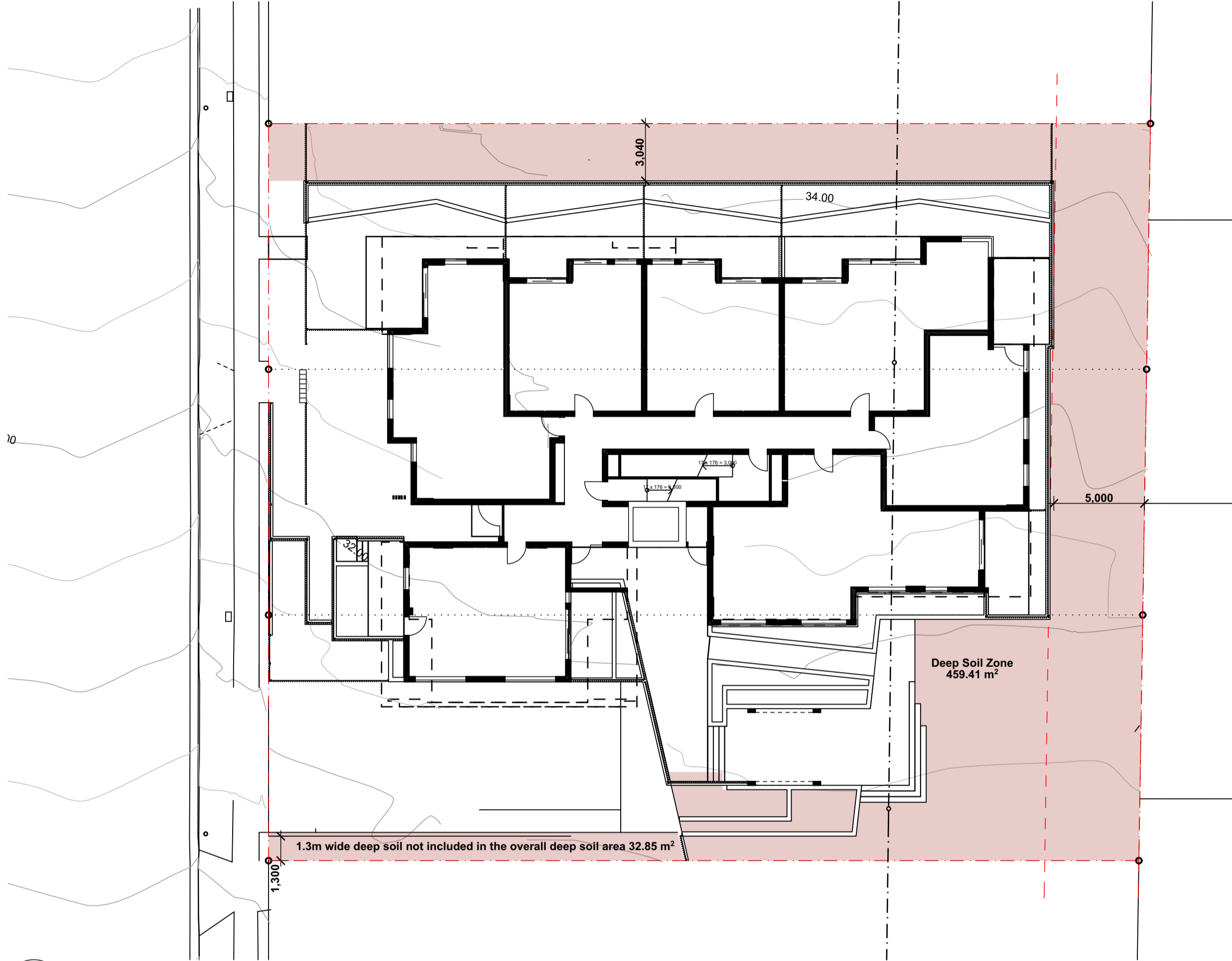
Drawing No; DA14
Revision#; 08

GFA Diagrams

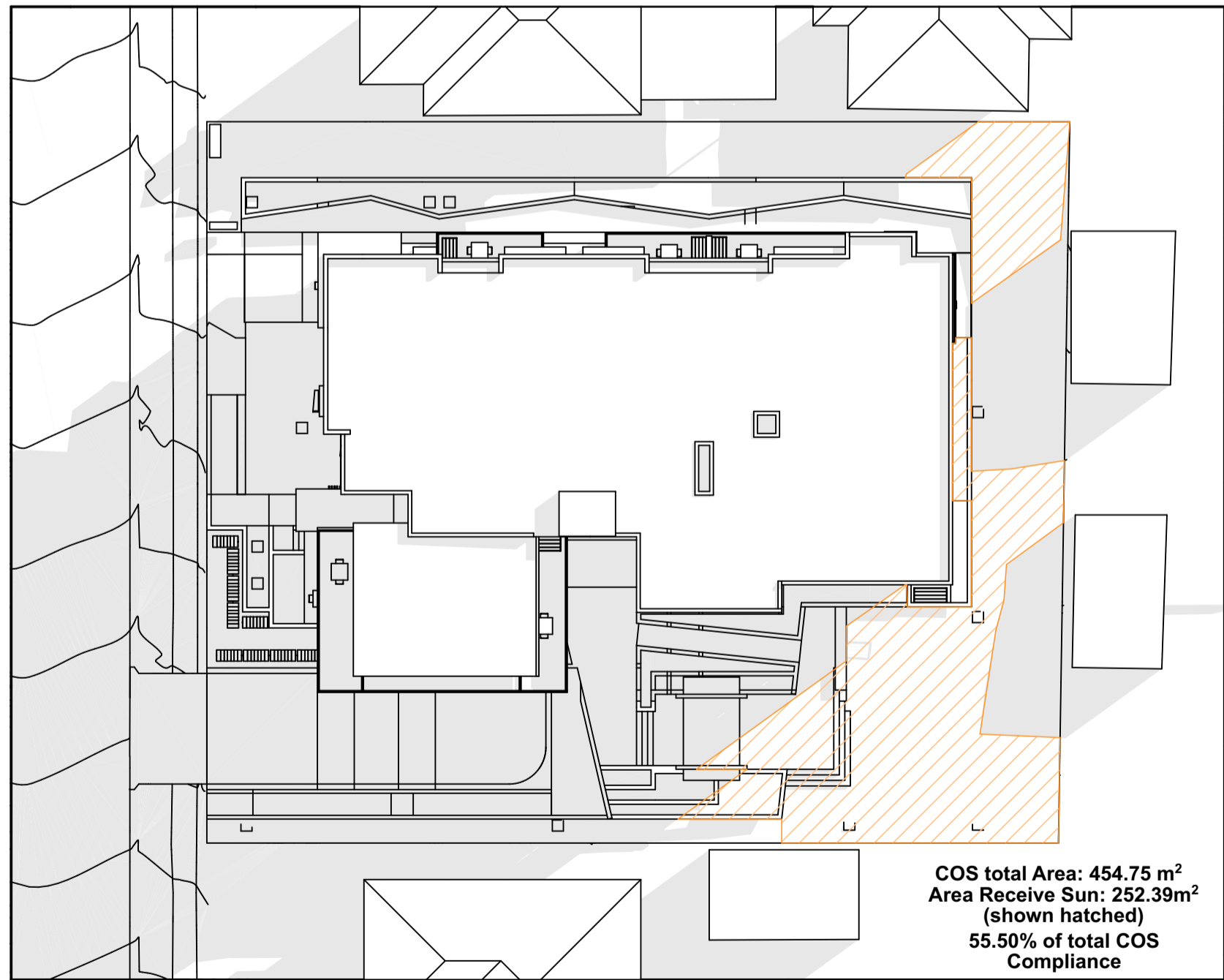
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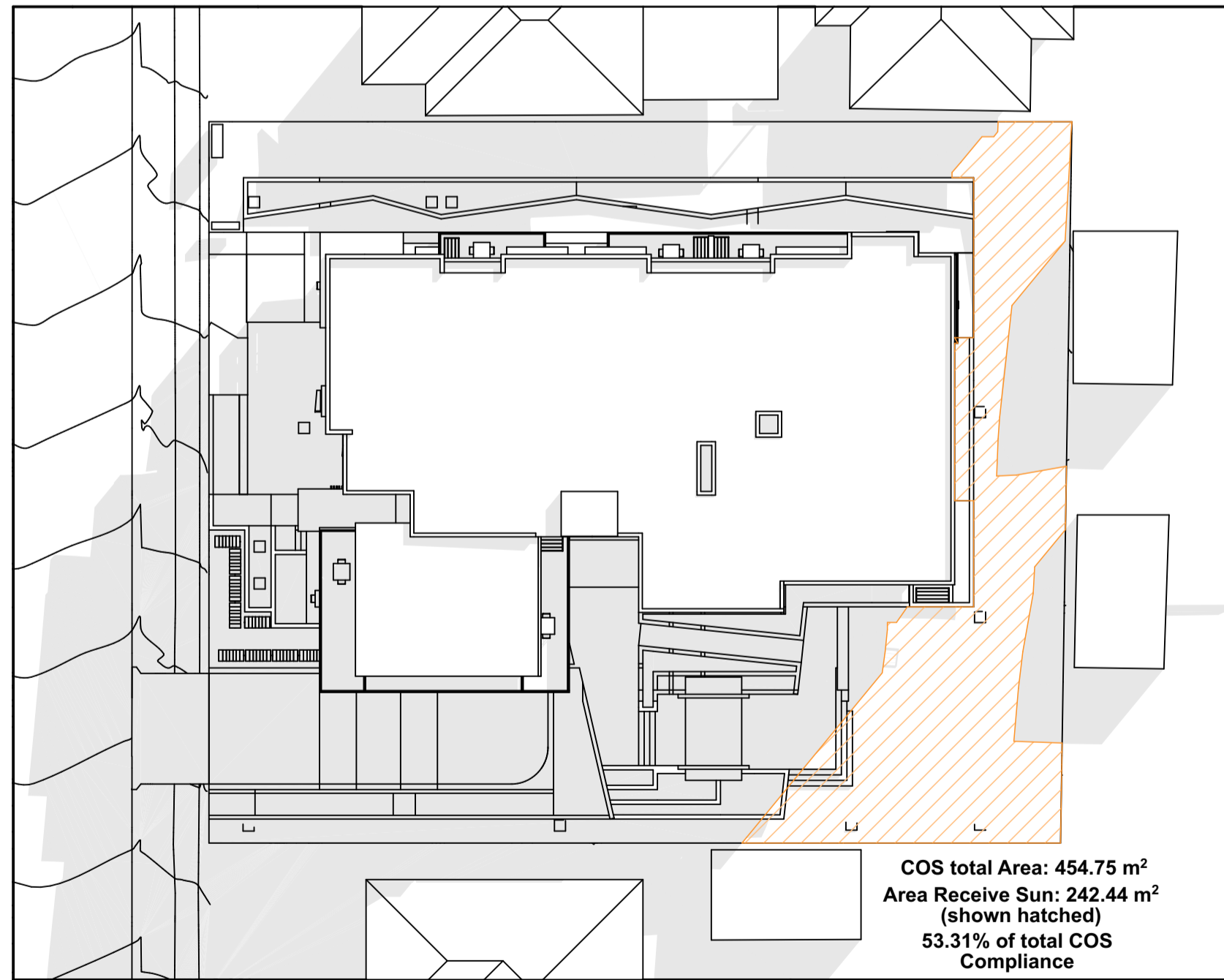
1 Soft Landscaping Diagram
1:200



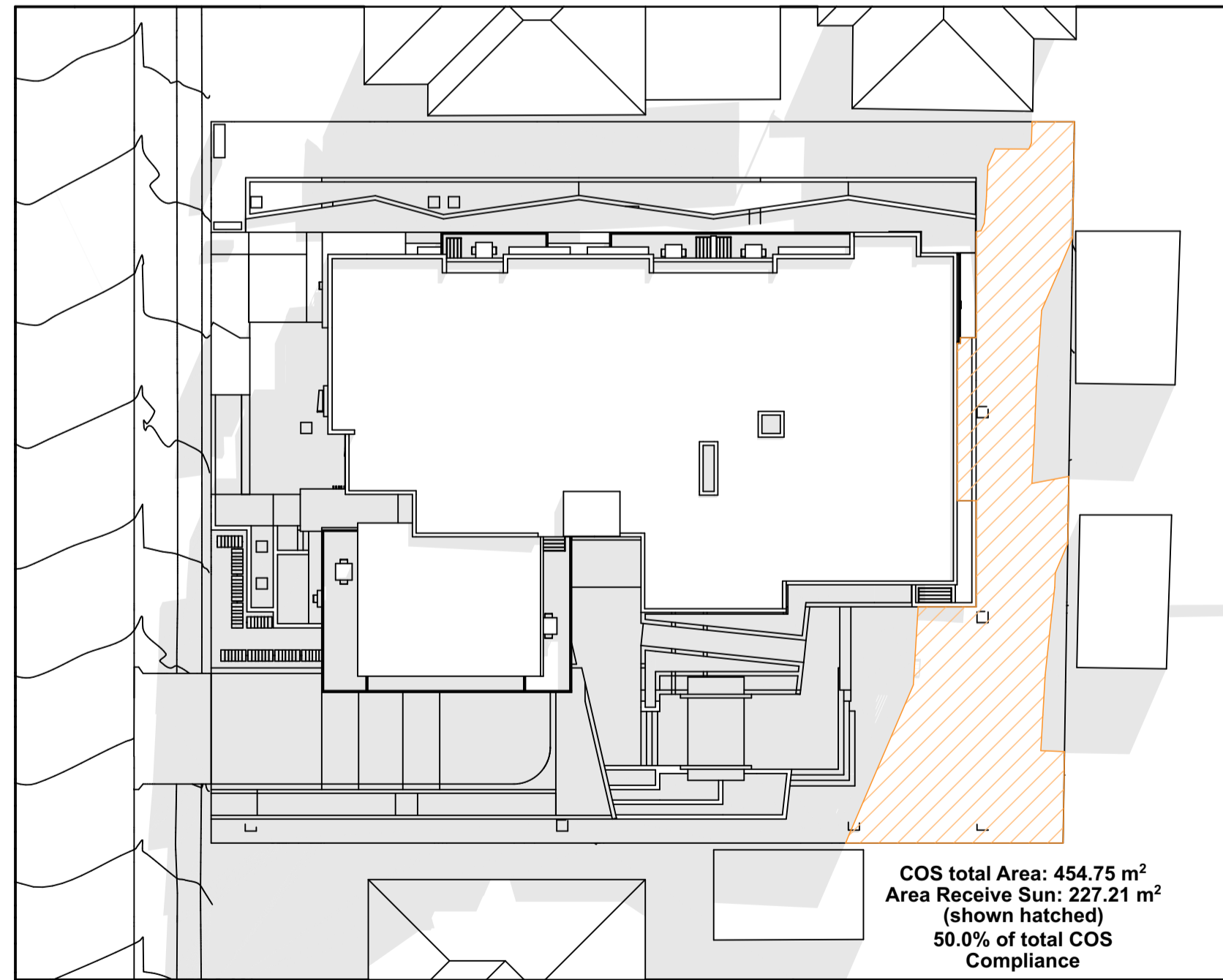
2 Deep Soil Diagram
1:200



3 COS Diagram (21 June) 10am
1:300



4 COS Diagram (21 June) 11am
1:300



5 COS Diagram (21 June) 12noon
1:300

DEVELOPMENT DATA			
ADDRESS	24-28 Viccliffe Ave, Campsie		
SITE AREA	1,817m²		
LANDSCAPE AREA	CANTERBURY DCP	min. 25% of site area (454m²)	795m² (43.8% of site area)
DEEP SOIL	ADG	min. 15% of site area (272m²)	459.41m² (25.2% of site area)

Legend

- Soft Landscaping
- Deep Soil Zone
- COS area receiving sun

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Residential Apartment Building (x28)
24-28 Viccliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date;12/12/19

Scale; 1:200, 1:300 as noted @ A1

Project No;
2370.18

Drawing No; DA15 Revision#; 08

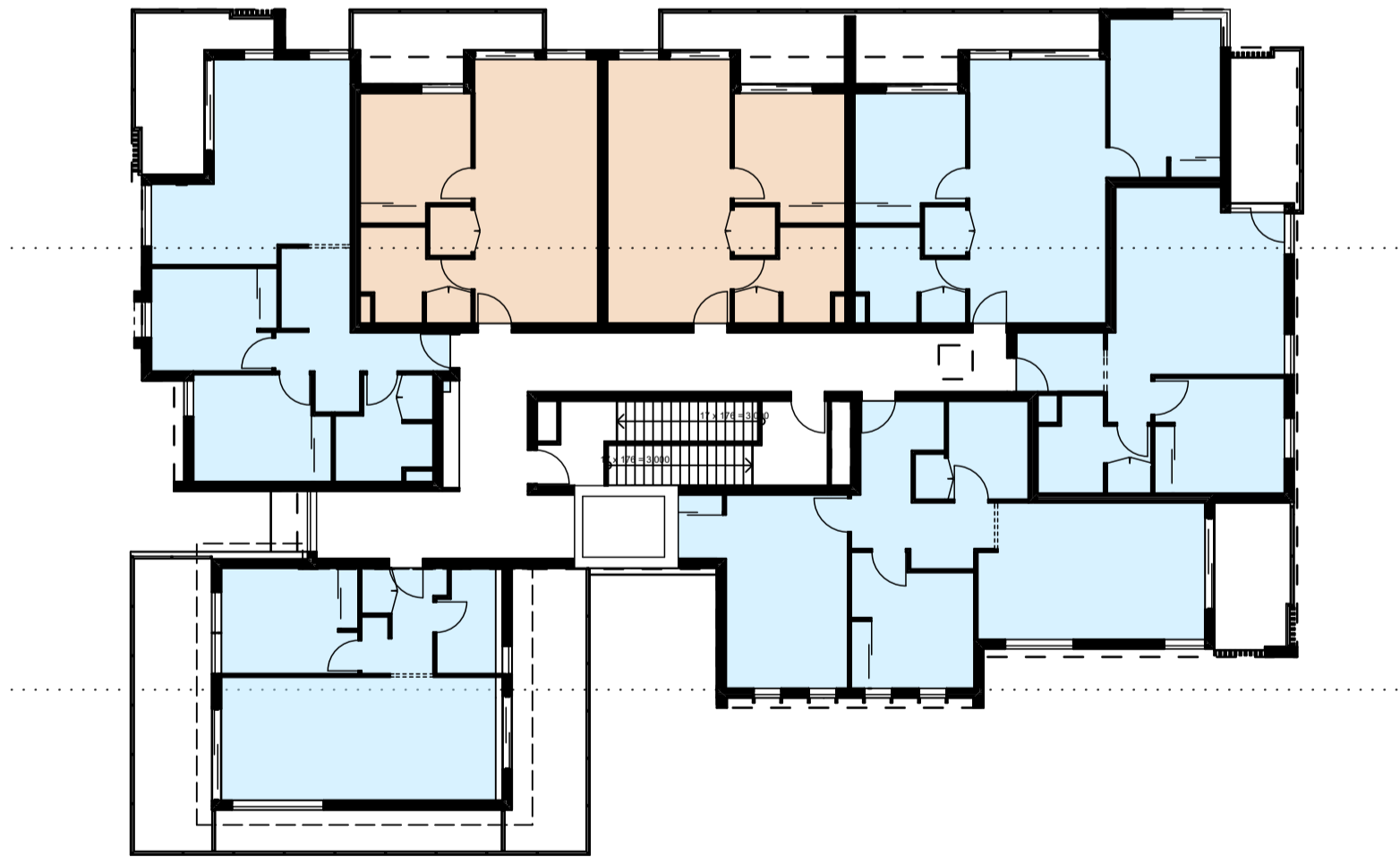
Development
Calculations



1 Cross Ventilation Diagram - Ground Level
1:200



2 Cross Ventilation Diagram - Typical (Levels 2-3)
1:200



3 Cross Ventilation Diagram - Level4
1:200

- Legend
- Receives Cross Ventilation
 - Does Not Receive Cross Ventilation

DEVELOPMENT DATA			
ADDRESS	24-28 Vicliffe Ave, Campsie		
	(454m ²)		
CROSS VENTILATION	ADG	At least 60% of apartments are naturally cross ventilated in the first nine	20 units (71.4% of units)

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05	Final DA Package	7/5/19
06	Revised Architectural Issue	28/11/19
07	DA Issue	11/12/19

7.0

Average star rating

NATIONWIDE HOUSE

www.nathurs.gov.au

Certificate Number: 0706302JB2

Assessor Name: Dean Gorman

Accreditation number: VICBDAV13/1645

Certificate date: 12 Dec 2019

Dwelling address: 24-28 Vicliffe avenue, Campsie NSW 2194

www.nathurs.gov.au

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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,
Campsie, NSW

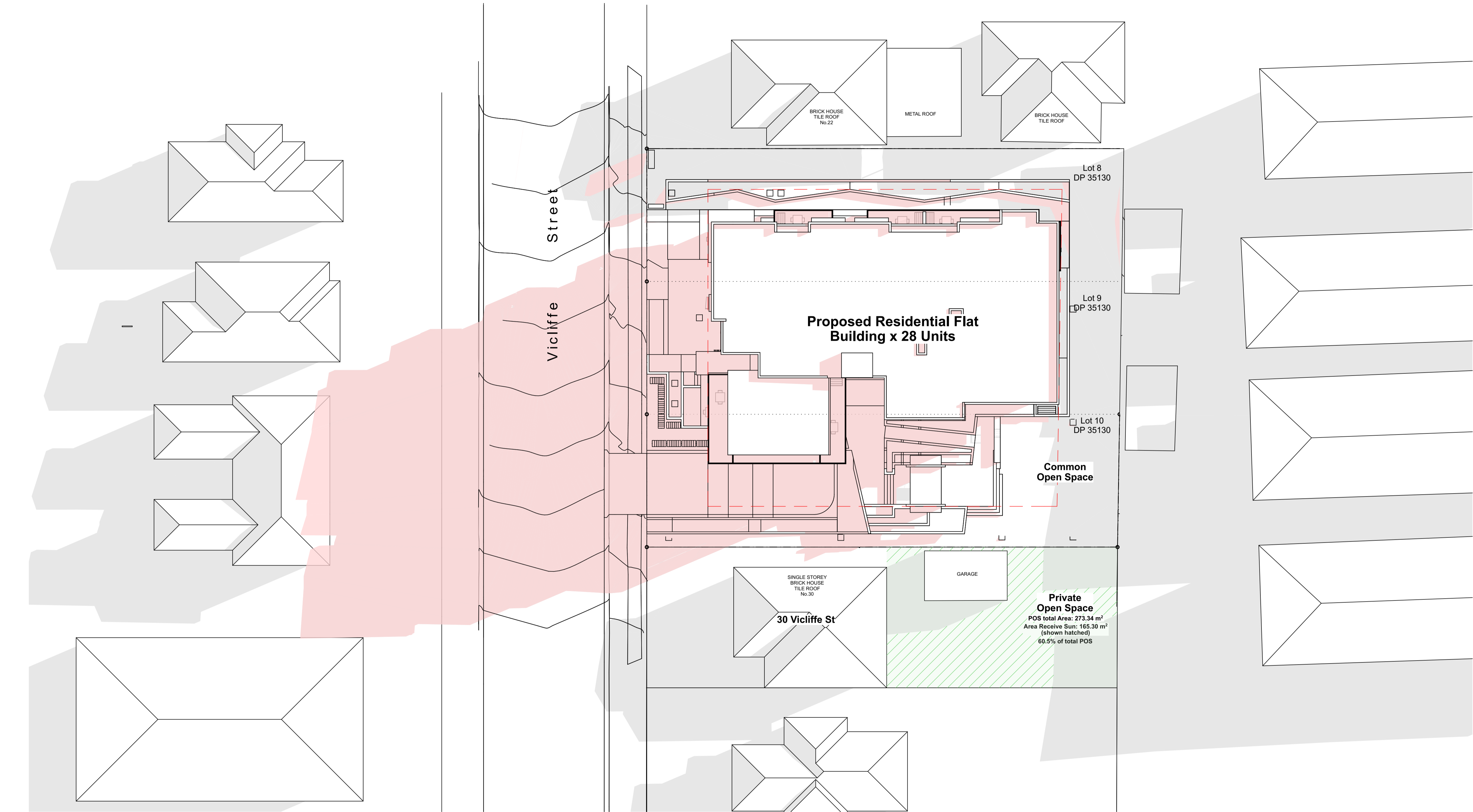
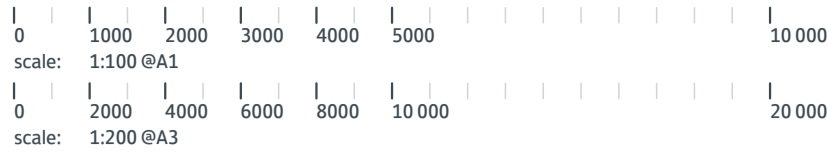
Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

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Project No;
2370.18

Drawing No; DA16
Revision#; 07

Cross Ventilation
Diagrams



1 Shadow Diagram June 21 @ 9 am
1:200

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Residential Apartment Building (x28)

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Drawn;jok/mc/ck/ef
Checked;jok
Plot date;12/12/19

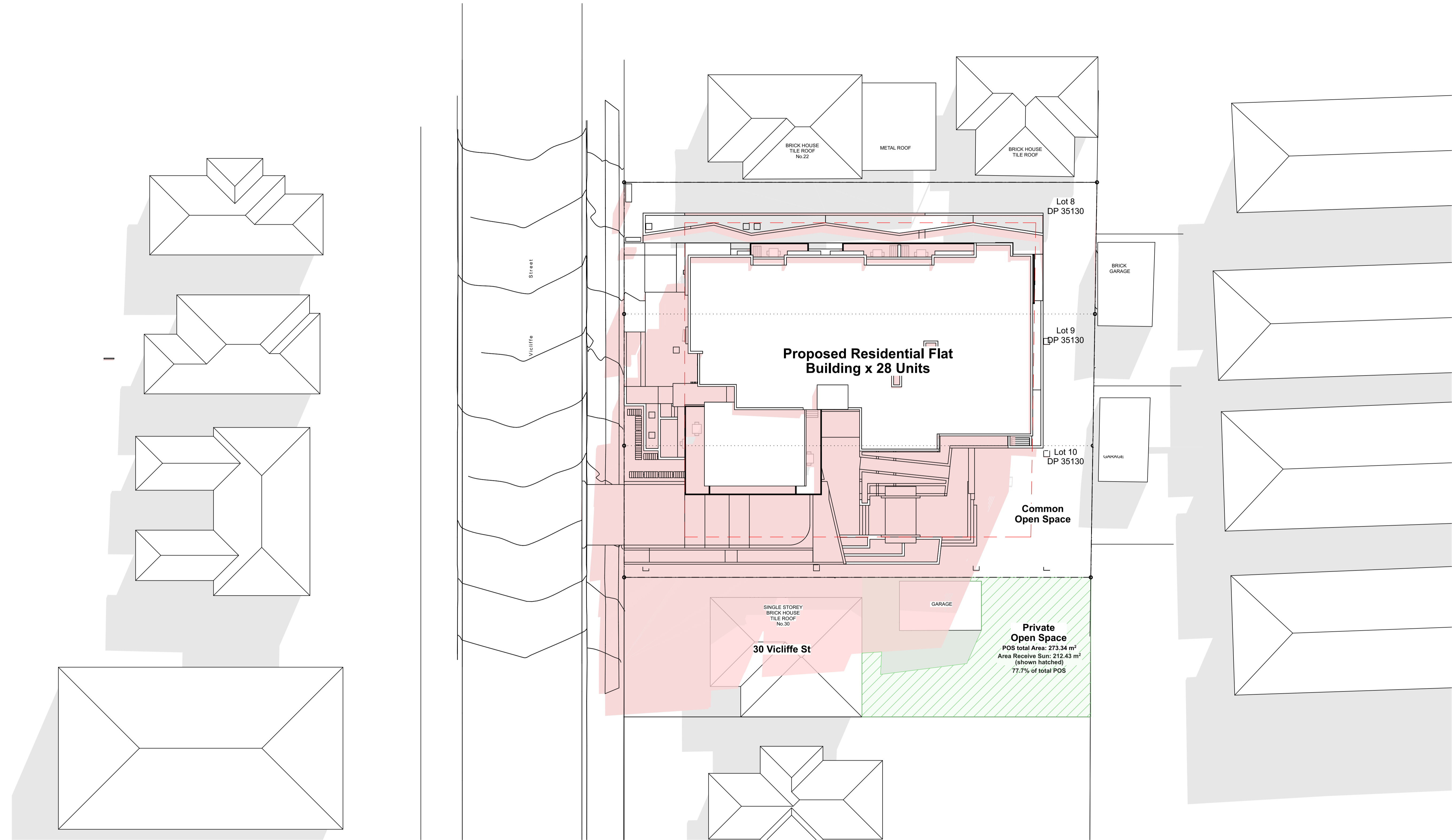
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Project No;
2370.18

Drawing No;
DA17

Revision#;
10

Shadow Diagrams (Sht 1
of 3)



1 Shadow Diagram June 21 @ 12 pm
1:200

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10	DA Issue	11/12/19



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Residential Apartment Building (x28)

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Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date;12/12/19

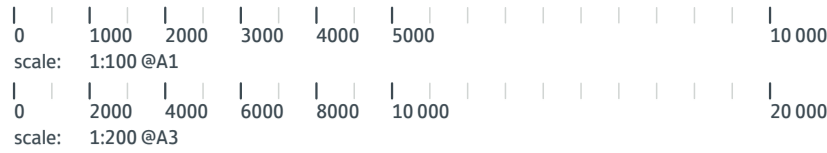
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Project No;
2370.18

Drawing No;
DA18

Revision#;
10

Shadow Diagrams (Sht 2
of 3)

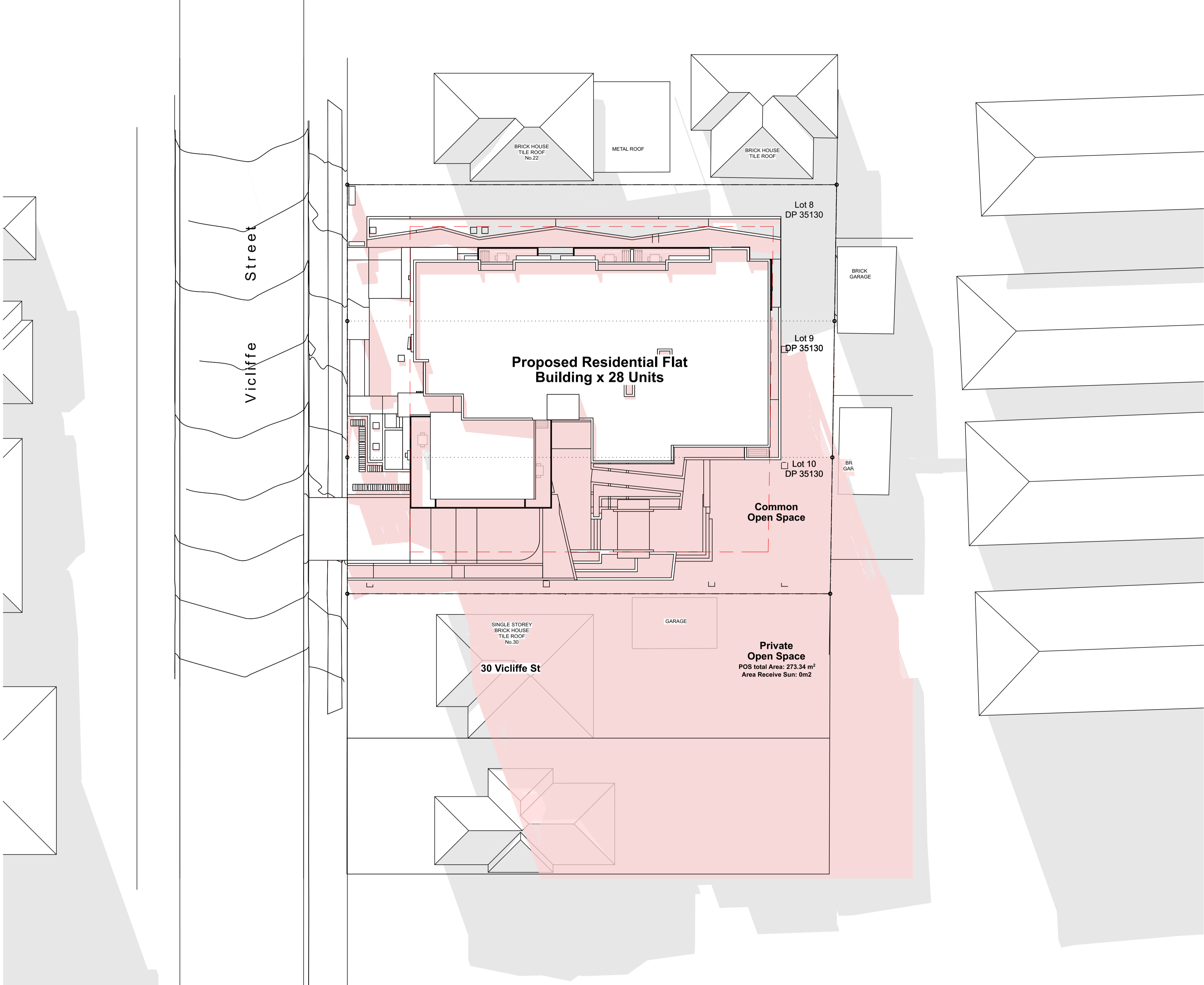


Living Areas

Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
101	x	x	x	x	x	x	x	0	n
102	x	x	x	x	x	x	x	4	y
103	x	x	x	x	x	x	x	3	y
104	x	x	x	x	x	x	x	2	y
105	x	x	x	x	x	x	x	4	y
106	x	x	x	x	x	x	x	5	y
107	x	x	x	x	x	x	x	1	n
201	x	x	x	x	x	x	x	0	n
202	x	x	x	x	x	x	x	2	y
203	x	x	x	x	x	x	x	5	y
204	x	x	x	x	x	x	x	5	y
205	x	x	x	x	x	x	x	4	y
206	x	x	x	x	x	x	x	6	y
207	x	x	x	x	x	x	x	1	n
301	x	x	x	x	x	x	x	0	n
302	x	x	x	x	x	x	x	2	y
303	x	x	x	x	x	x	x	5	y
304	x	x	x	x	x	x	x	4	y
305	x	x	x	x	x	x	x	4	y
306	x	x	x	x	x	x	x	6	y
307	x	x	x	x	x	x	x	1	n
401	x	x	x	x	x	x	x	0	n
402	x	x	x	x	x	x	x	5	y
403	x	x	x	x	x	x	x	6	y
404	x	x	x	x	x	x	x	6	y
405	x	x	x	x	x	x	x	6	y
406	x	x	x	x	x	x	x	6	y
407	x	x	x	x	x	x	x	1	n
total 20 units receive >2 hours									71.4%
total 4 units receive no direct sunlight									14.3%

POS

Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
101	x	x	x	x	x	x	x	0	n
102	x	x	x	x	x	x	x	4	y
103	x	x	x	x	x	x	x	3	y
104	x	x	x	x	x	x	x	4	y
105	x	x	x	x	x	x	x	4	y
106	x	x	x	x	x	x	x	4	y
107	x	x	x	x	x	x	x	2	y
201	x	x	x	x	x	x	x	0	n
202	x	x	x	x	x	x	x	5	y
203	x	x	x	x	x	x	x	6	y
204	x	x	x	x	x	x	x	6	y
205	x	x	x	x	x	x	x	6	y
206	x	x	x	x	x	x	x	6	y
207	x	x	x	x	x	x	x	2	y
301	x	x	x	x	x	x	x	0	n
302	x	x	x	x	x	x	x	5	y
303	x	x	x	x	x	x	x	6	y
304	x	x	x	x	x	x	x	6	y
305	x	x	x	x	x	x	x	6	y
306	x	x	x	x	x	x	x	6	y
307	x	x	x	x	x	x	x	2	y
401	x	x	x	x	x	x	x	0	n
402	x	x	x	x	x	x	x	5	y
403	x	x	x	x	x	x	x	6	y
404	x	x	x	x	x	x	x	6	y
405	x	x	x	x	x	x	x	6	y
406	x	x	x	x	x	x	x	6	y
407	x	x	x	x	x	x	x	2	y
total 24 units receive >2 hours									85.7%
total 4 units receive no direct sunlight									14.3%



1 Shadow Diagram June 21 @ 3 pm
1:200

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Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

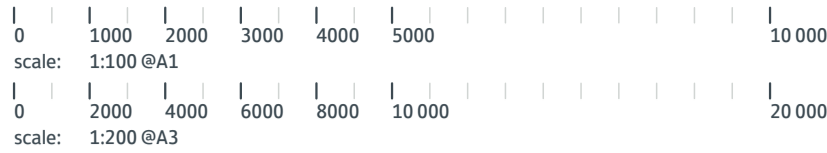
Scale; 1:200 as noted @ A1

Project No;
2370.18

Drawing No;
DA19

Revision#;
10

Shadow Diagrams (Sht3
of 3)



Shadow Analysis (view from sun 1/3)



Legend

- ✓ sunlight to living area
- ✗ no sunlight to living area
- ✓ sunlight to private open space
- ✗ no sunlight to private open space

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Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,
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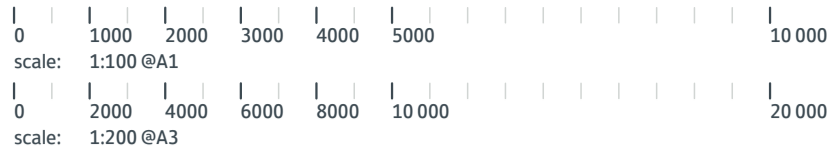
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Plot date; 12/12/19

Scale; as noted @ A1

Project No;
2370.18

Drawing No; DA20
Revision#; 09

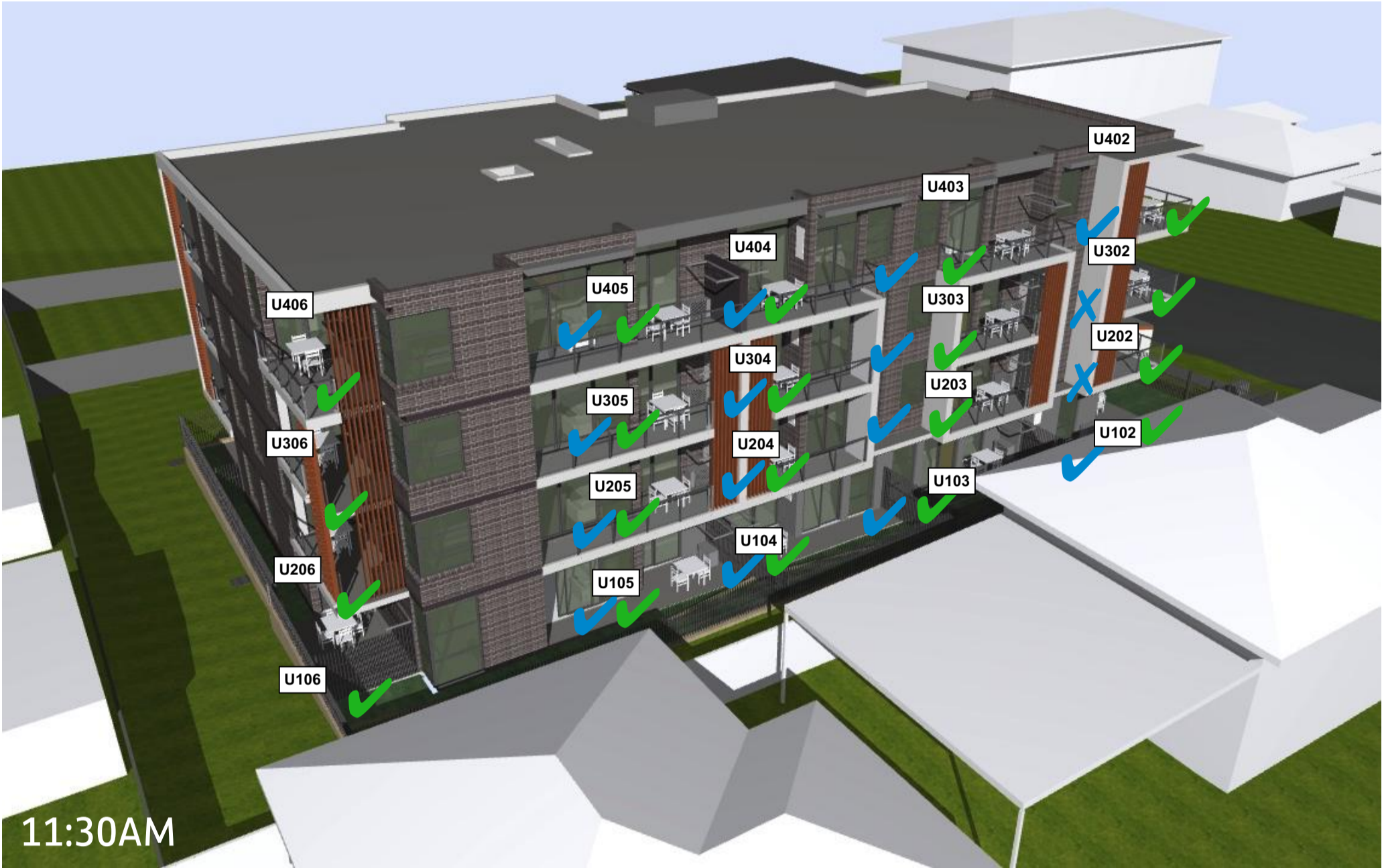
Shadow Analysis (view
from sun 1/3)



Legend

- ✓ sunlight to living area
- ✗ no sunlight to living area
- ✓ sunlight to private open space
- ✗ no sunlight to private open space

Shadow Analysis (view from sun 2/3)



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09	DA Issue	11/12/19

Average star rating
7.0
NATIONS HOUSE
www.nations.gov.au

Certificate Number: 0706302JB2
Assessor Name: Dean Gorman
Accreditation number: VIC/BDAY/131645
Certificate date: 12 Dec 2019
Dwelling address: 24-28 Viccliffe Avenue, Campsie NSW 2194
www.nations.gov.au

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Residential Apartment Building (x28)

24-28 Viccliffe Avenue,
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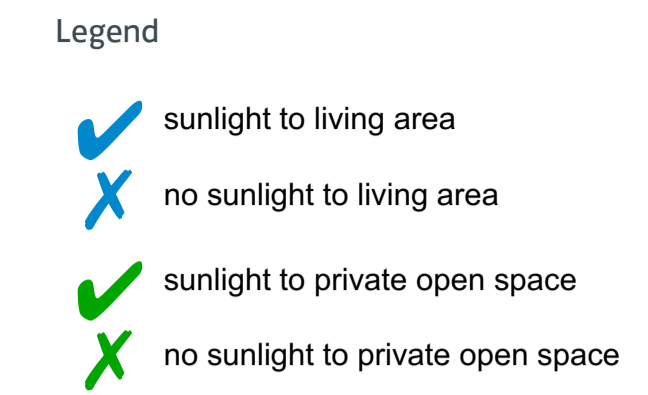
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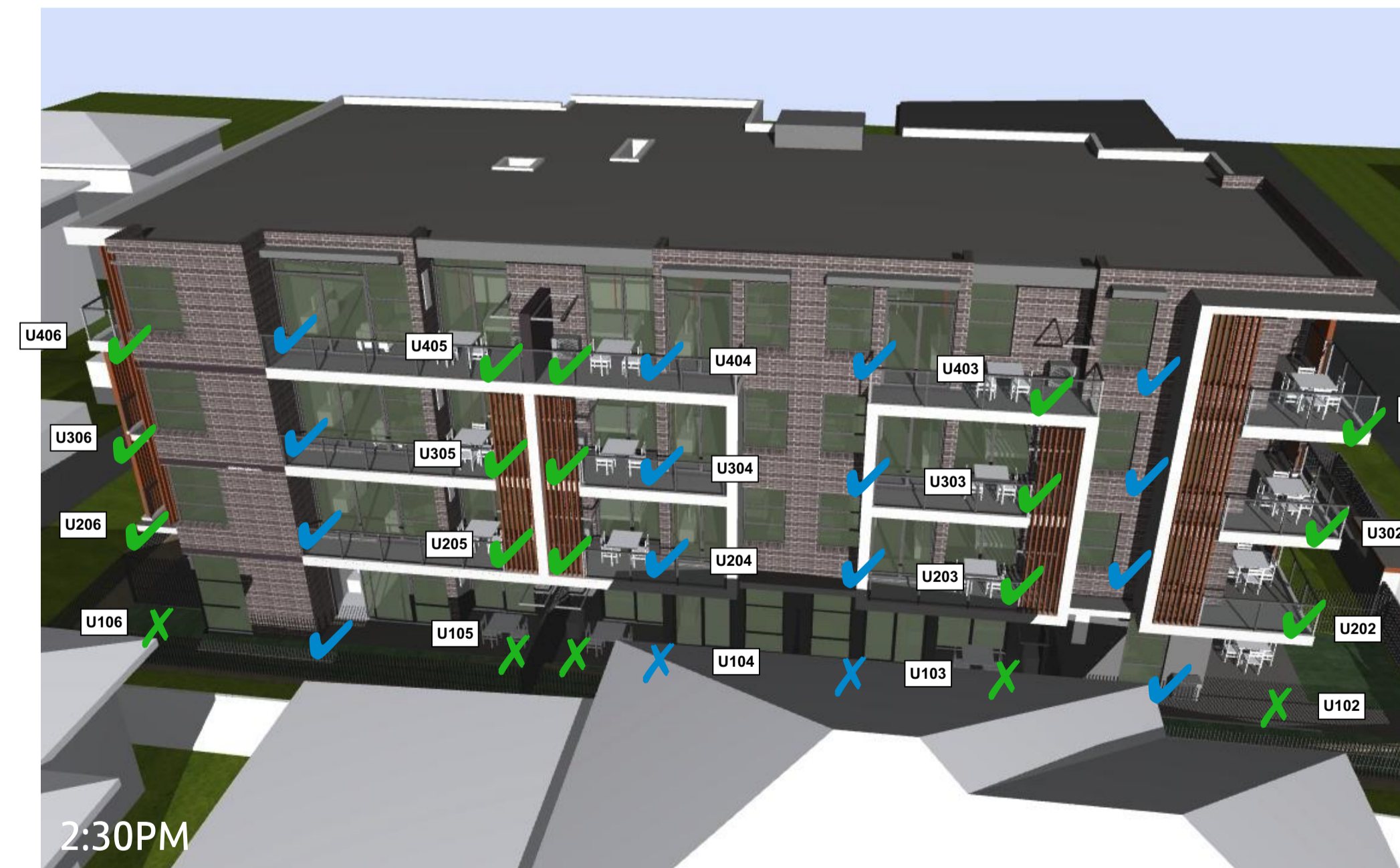
Project No;
2370.18

Drawing No; DA21
Revision#; 09

Shadow Analysis (view
from sun 2/3)



1PM



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07	Final DA Package	7/5/19
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09	DA Issue	11/12/19



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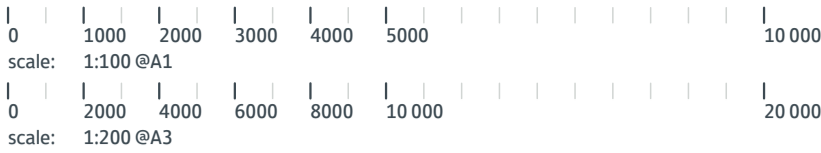
Residential Apartment Building (x28)
24-28 Viccliffe Avenue,
Campsie, NSW

Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19
Scale; as noted @ AI

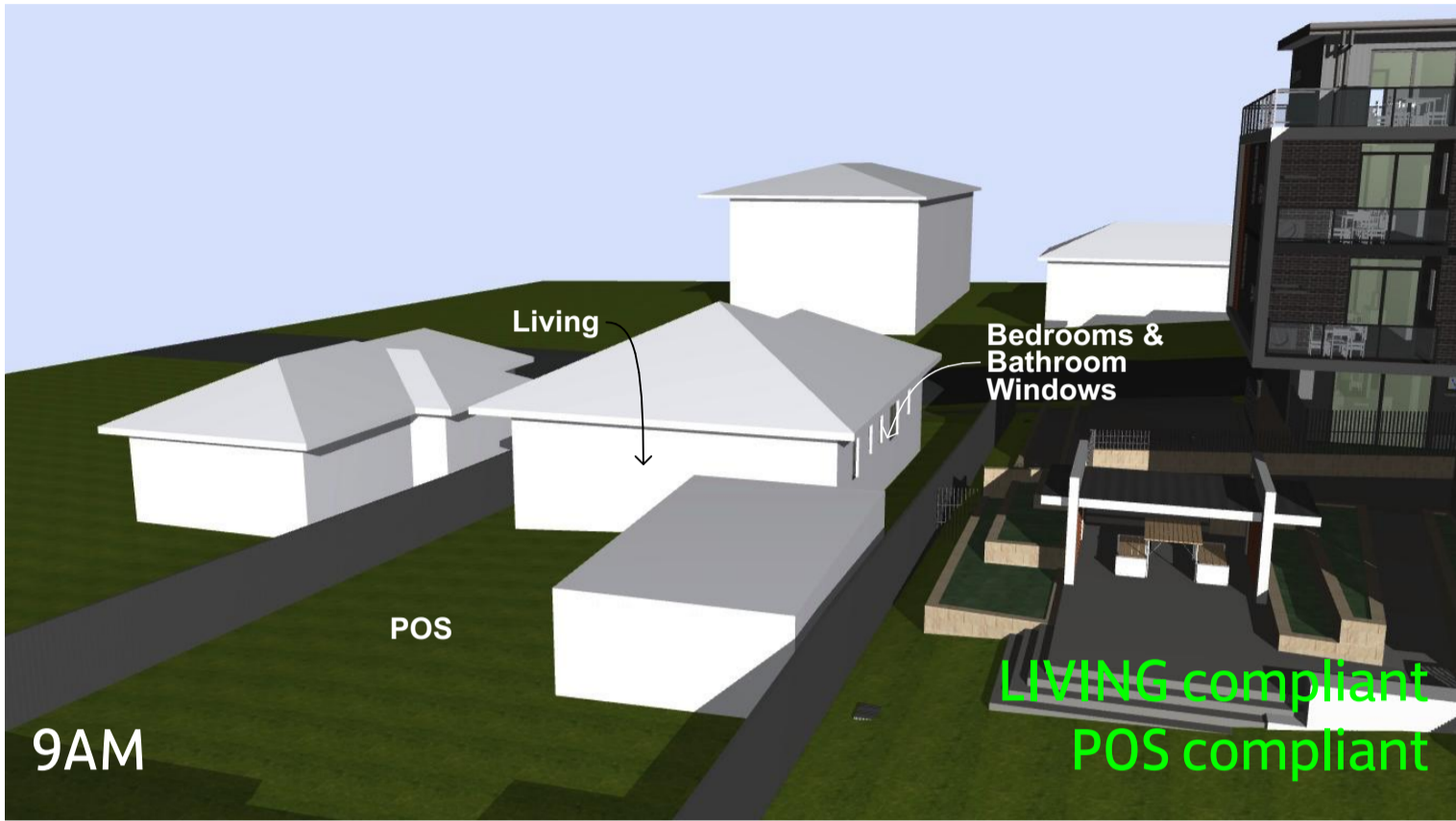
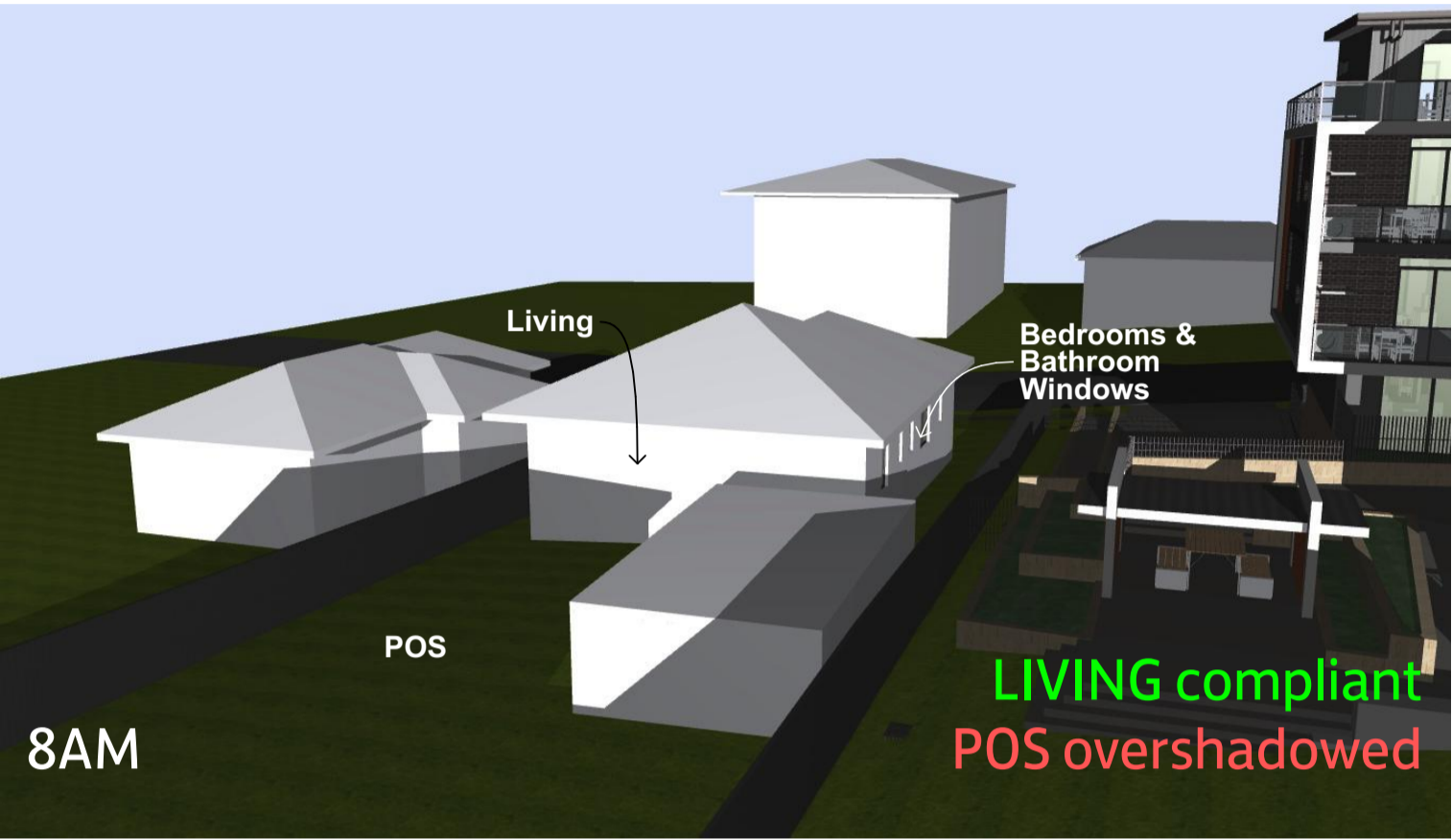
Project No;
2370.18

Drawing No; DA22
Revision#; 09

Shadow Analysis (view from sun 3/3)



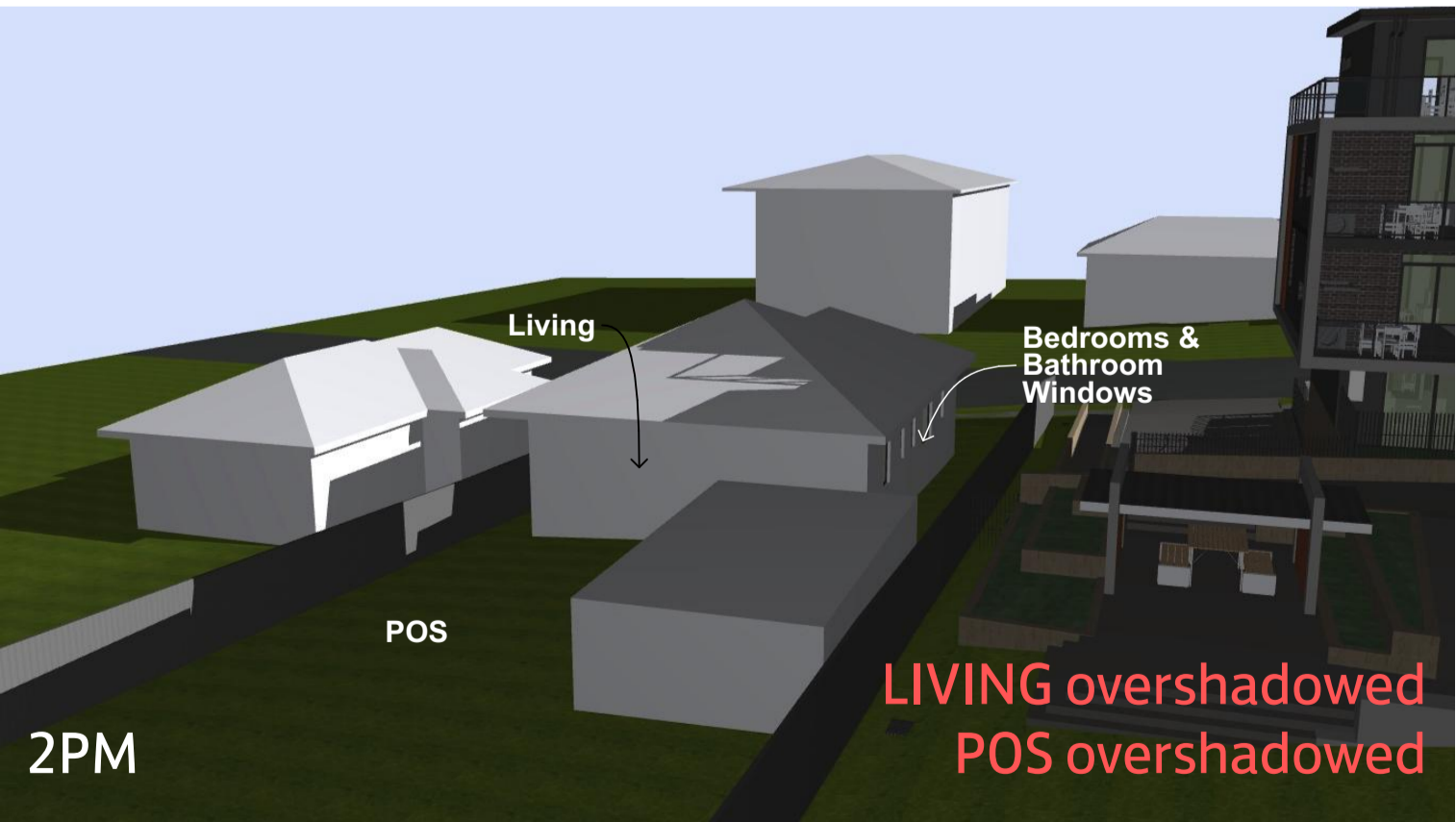
Shadow Impact Diagram (30 Viccliffe St)



Solar Access to neighbour (30 Viccliffe St)		
Time/Hours	Living	POS
8:00		x
8:30		
9:00		
9:30		
10:00		
10:30		
11:00		
11:30		
12:00		
12:30		
13:00	x	
13:30	x	x
14:00	x	x
14:30	x	x
15:00	x	x
15:30	x	x
16:00	x	x

No. of Hours 4.5 4.5
Complies Complies

DCP requirement: Min. 3 hours of
sunlight between 8am and 4pm on 21
June for existing living areas and 50%
of principal private open space.



Stanton Dahl & Associates Pty Limited ABN 12 002 363 3916
Nominated Architects - DCP Stanton 3642, S4 Evans 7686
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PO Box 833, Epping, NSW 1710, Australia
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www.stantondahl.com.au

All dimensions to be verified on site and any
discrepancies referred to architect for determination.
figured dimensions to take precedence over scaled
dimensions.

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Rev	Issue	Date
01	Preliminary DA Package	14/3/19
02	Final DA Package	18/3/19
03	Draft DA Package	27/3/19
04	Final DA Package	16/4/19
05	Final DA Package	24/04/19
06	Final DA Package	30/4/19
07	Final DA Package	7/5/19
08	Revised Architectural Issue	28/11/19
09	DA Issue	11/12/19

Certificate Number: 0706302JB2
Assessor Name: Dean Gorman
Accreditation number: VIC/BDAY/13/1645
Certificate date: 12 Dec 2019
Dwelling address: 24-28 Viccliffe avenue, Campsie NSW 2194
www.nathers.gov.au

Average star rating
7.0
NATIONWIDE HOUSE
www.nathers.gov.au

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MONO

Family & Community Services
Land & Housing Corporation

Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date; 12/12/19

Scale; 1:1 as noted @ A1

Project No;
2370.18

Drawing No; **DA23** Revision#;
09

Shadow Impacts (No. 30
Viccliffe Street)



DCP Building Height Plane



1 LEP 11.5m
(Minor Non-Compliance)

Stanton Dahl & Associates Pty Limited ABN 32 902 363 396
Nominated Architects - D.P. Stanton 3642, S.M. Evans 7686
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Residential Apartment Building (x28)

24-28 Viccliffe Avenue,
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Drawn; jok/mc/ck/ef
Checked; jok
Plot date; 12/12/19

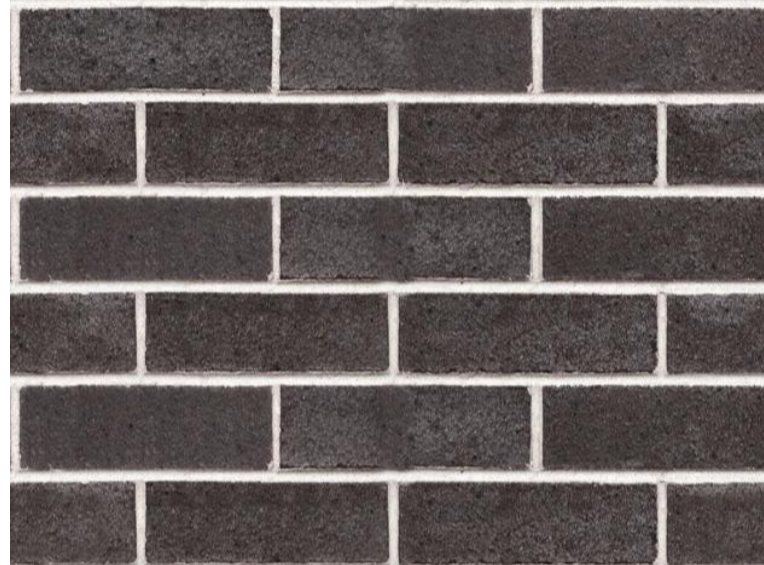
Scale; as noted @ A1

Project No;
2370.18

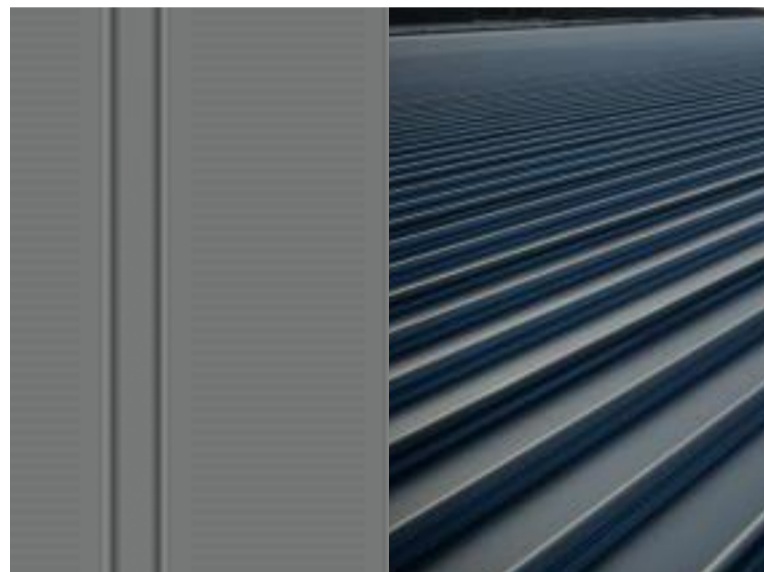
Drawing No; **DA24** Revision#; **09**

DCP Building Height Plane

External Colour Selections (Sample)



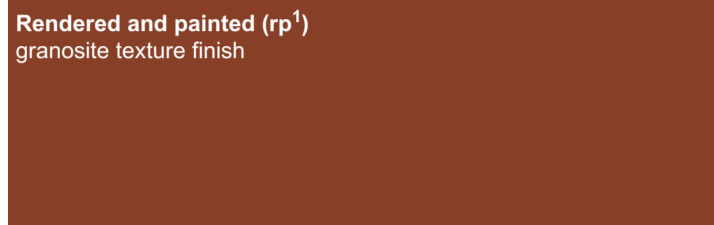
Face Brick (fb)



Metal Deck Roofing (mdr)



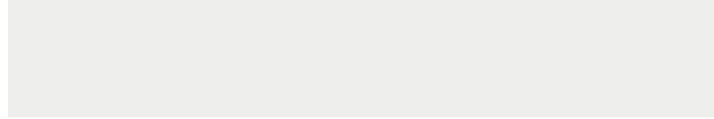
Metal Cladding (mc)



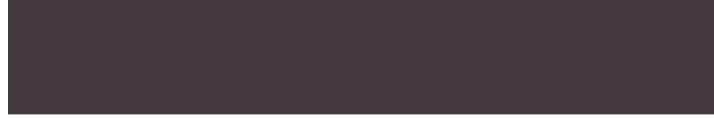
Rendered and painted (rp¹)
granosite texture finish



Rendered and painted (rp²)
granosite texture finish



Rendered and painted (rp³)
granosite texture finish



Facade Details

rendered & painted (rp3)

metal cladding (mc)

rendered & painted (rp⁴)

face brick (fb)

rendered & painted (rp³)

rendered & painted (rp¹)

rendered & painted (rp²)



Vicliffe St Persepctive

Stanton Dahl Architects

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NSW Government
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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,
Campsie, NSW

Drawn;jok/mc/ck/ef
Checked;jok
Plot date; 12/12/19

Scale: 1:1, 1:0.322, 1:4.087, 1:3.381, 1:1.058,
1:0.956, 1:3.980, 1:3.528, 1:0.397,
1:2.117, 1:1.626 as noted @ AI

Project No;
2370.18

Drawing No;
DA25

Revision#;
09

External Colour
Selections